



PLANNING AND ZONING BOARD MEETING AGENDA

**Tuesday, August 22, 2023
7:00 PM**

THE PLANNING AND ZONING BOARD SHALL HOLD ITS REGULAR MEETING IN THE COUNCIL CHAMBER IN THE CITY HALL, LOCATED AT 121 S. MERIDIAN AVE., BEGINNING AT 7:00 P.M. (MEETING WILL ALSO BE BROADCASTED ON CITY'S YOUTUBE CHANNEL AND/OR COX PUBLIC ACCESS CHANNEL 7)

A. CALL TO ORDER THE PLANNING AND ZONING BOARD

B. PLEDGE OF ALLEGIANCE

C. ROLL CALL

<input type="checkbox"/> Gary Janzen	<input type="checkbox"/> Brian Shelton	<input type="checkbox"/> Scot Phillips
<input type="checkbox"/> Paul Spranger	<input type="checkbox"/> Rick Shellenbarger	<input type="checkbox"/> Dalton Wilson
<input type="checkbox"/> Steve Conway		

D. SET/AMEND AGENDA

Motion made by (______). Seconded by (______). For ____ Against ____

E. APPROVAL OF DRAFT MINUTES

July 25, 2023 DRAFT meeting minutes

Motion made by (______). Seconded by (______). For ____ Against ____

F. COMMUNICATIONS

G. PUBLIC HEARINGS BEFORE THE PLANNING AND ZONING BOARD

1. Review of SP-2023-02, application of the City of Valley Center, pursuant to City Code 17.12, who is petitioning to build a 40,800 sq. ft. aquatic and recreation center on property currently addressed as 9014 N. Meridian Ave., Valley Center, KS 67147.

- Chairperson opens hearing for comments from the public: TIME ____
- Chairperson closes public hearing: TIME ____

RECOMMENDED MOTION: Based on the City staff recommendations, public comments, and discussion by the Planning and Zoning Board, I _____ make a motion to (**approve**, **deny**, or **table**) SP-2023-02. Seconded by _____. For ____ Against ____

2. Review of RZ-2023-04, application of Jason Febres, pursuant to City Code 17.11, who is petitioning for a rezoning of land that is currently zoned C-2, which is the City's designation for a general business district, to R-1B, which is the City's designation for a single-family residential district. The property is currently addressed as 116 S. Ash Avenue, Valley Center, KS 67147.

- Chairperson opens hearing for comments from the public: TIME _____
- Chairperson closes public hearing: TIME _____

RECOMMENDED MOTION: Based on the City Staff recommendations, public comments, and discussion by the Planning and Zoning Board, I _____ make a motion to (**approve**, **deny**, or **table**) RZ-2023-04. Seconded by _____ . For _____ Against _____

H. OLD/UNFINISHED BUSINESS

I. NEW BUSINESS

1. Establishment of Stormwater Citizens Advisory Committee
2. Summer Walk Plat Discussion

J. STAFF REPORTS

K. ITEMS BY PLANNING AND ZONING BOARD MEMBERS:

<input type="checkbox"/> Gary Janzen	<input type="checkbox"/> Brian Shelton	<input type="checkbox"/> Scot Phillips
<input type="checkbox"/> Paul Spranger	<input type="checkbox"/> Rick Shellenbarger	<input type="checkbox"/> Dalton Wilson
<input type="checkbox"/> Steve Conway		

L. ADJOURNMENT OF THE PLANNING AND ZONING BOARD

Motion made by _____. Seconded by _____. For _____ Against _____

Note to Planning and Zoning Board Members: If you are unable to attend this meeting, please contact Ryan Shrack (316-755-7320) prior to the meeting.

All items listed on this agenda are potential action items unless otherwise noted. The agenda may be modified or changed at the meeting without prior notice. At anytime during the regular Planning and Zoning Board meeting, the Planning and Zoning Board may meet in executive session for consultation concerning cases to be deliberated. This is an open meeting, open to the public, subject to the Kansas Open Meetings Act (KOMA). The City of Valley Center is committed to providing reasonable accommodations for persons with disabilities upon request of the individual. Individuals with disabilities requiring an accommodation to attend the meeting should contact the Community Development Department in a timely manner, at communitydevelopment@valleycenterks.org or by phone at (316)755-7320. For additional information on any item on the agenda, please visit www.valleycenterks.org or call (316) 755-7320.



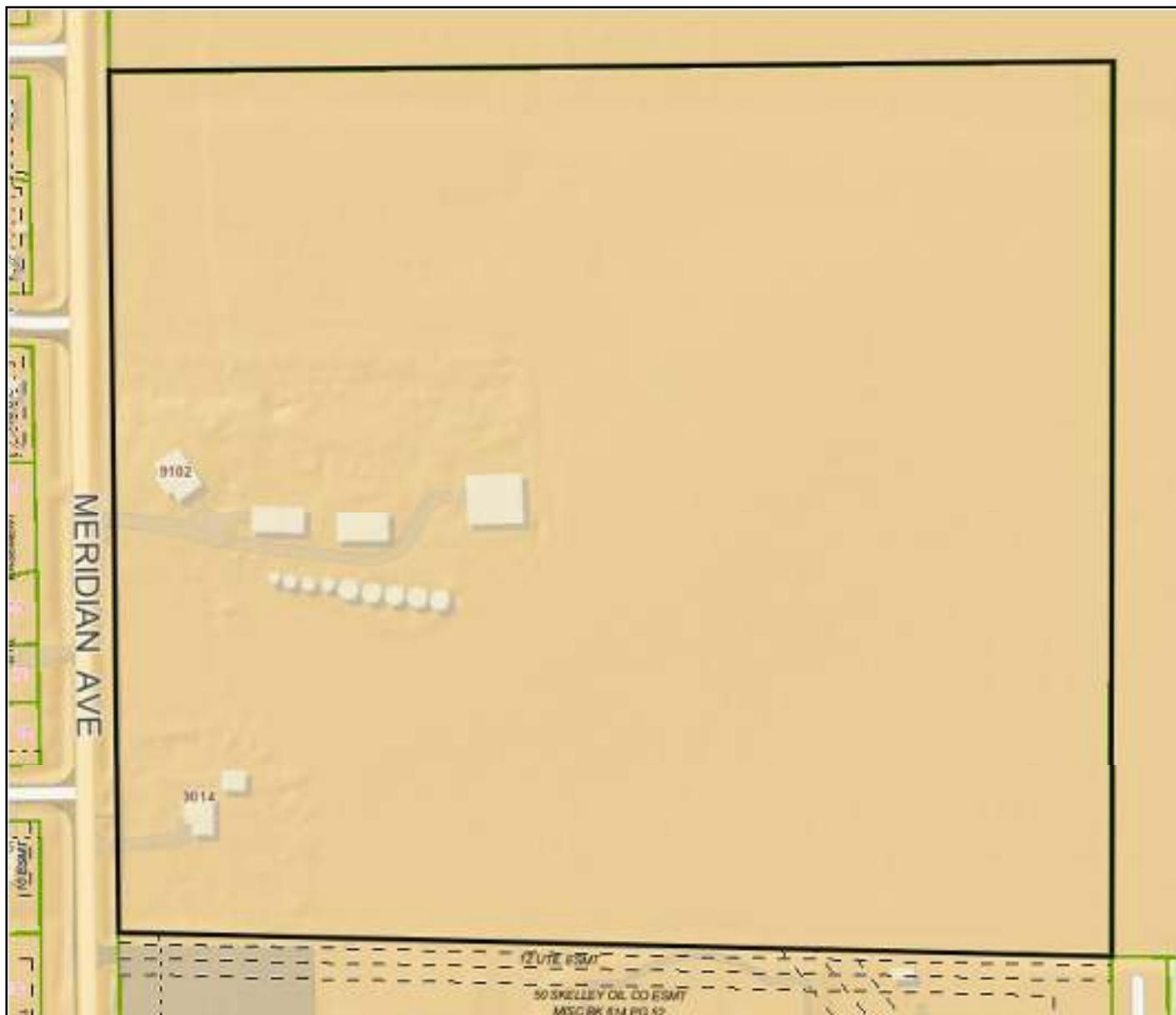
Date: August 17, 2023

To: City of Valley Center Planning and Zoning Board

From: Ryan W. Shrack, *Community Development Director*

Applicant: City of Valley Center, KS (SP-2023-02)

Location of Site Plan: The proposed 44,800 sq. ft. aquatic and recreation center building will be constructed on the property currently addressed as 9014 N. Meridian Ave., Valley Center, KS 67147. The proposed building will be owned by the City of Valley Center and operated by the Valley Center Recreation Commission. The map below shows the lot on which the proposed building will be constructed (outlined in black).



Existing Zoning: RR-1 (Suburban Residential District), this lot will be rezoned with the forthcoming Summer Walk plat.

Size of Parcel: The property on which the proposed building will be constructed is 30.78 acres in size. The submitted site plan meets all bulk regulations required of the zoning district.

Purpose of Site Plan Application:

17.12.05 Site Plan Requirements:

Projects which are subject to review by the Planning and Zoning Board generally are required to meet the following standards:

- A. *Show the location and dimensions of all right-of-way, easements and setback lines either required by these regulations or by platting or separate instruments.*
 - The proposed building will be constructed within the site development area noted on the associated site plans.
- B. *The site plan map generally should be oriented to the north with north arrow and scale plus dimensions and property boundary lines for the zoning lot.*
 - Dimensions are shown on the site plan and the site plan is generally oriented to the north and a scale is present. Property boundary lines are also shown on the site plan map.
- C. *Topography by contour lines may be required if slopes exceed 5%, buffer berms are used, or a drainage plan is required.*
 - Topography by contour lines is shown on the site plan. Per the City Engineer, a drainage plan/report was required for this project.
- D. *Show existing and proposed structures by bulk dimensions plus number of stories, gross floor area and entrances.*
 - The site plan shows the dimensions for the proposed building. Façade renderings can also be found at the end of this staff report. The proposed building will be 44,800 sq. ft. in size once constructed. The main entrance will face Meridian Ave. at a southwesterly angle. The building includes a swimming pool, gymnasium, workout area/running track, and office space.
- E. *Existing and proposed curb cuts, aisles, off-street parking, loading spaces and walkways, including type of surfacing and number of parking spaces. Delineate the traffic flow with directional arrows and indicate the location of direction signs and other motorist's aids (if any).*
 - This project will add one new driveway connecting to a public street (Meridian Avenue). Another driveway will connect the proposed parking lot area to the existing middle school parking lot to the south of this property. Parking stalls dedicated to this proposed building are shown on the site plan and meet the required number of spaces, including ADA-designated stalls.
- F. *Location, direction, and intensity of proposed lighting. All exterior lighting must be "full-cut-off" light fixtures when located near adjacent residential properties (no light should spill over on adjacent residential parcels)*
 - The exterior lighting for this project is shown in the plans and will not spill over onto adjacent residential properties.

G. *Location and height of all existing (to remain) and proposed signs on the site, the setback dimensions from any sign to property lines, location and routing of electrical supply, surface area of the sign in square feet, size of letters and graphics, description of sign, frame materials and colors.*

- There are no existing or proposed signs associated with this construction project.

H. *If disposal containers will be on the site, indicate how such areas will be fully screened from public view by means of a structure (including swinging doors) constructed with either solid treated lumber walls, cement block (with or without brick), or other materials deemed acceptable. The enclosure must also have the capability of latching the doors in a closed position, or when trash is being picked up, in an open position. Outdoor storage areas may also need to be screened if required by these zoning regulations.*

- The site plan does show two new disposal containers to be located on-site in conjunction with this project. They will be fully screened from public view and meet the zoning code requirements.

I. *Vehicular ingress and egress to and from the site and circulation within the site to provide safe, efficient and convenient movement of traffic, not only within the site but on adjacent roadways.*

- Vehicular ingress and egress to and from the site will be safe, efficient, and convenient. As noted on the site plan, a driveway will connect the parking lot with Meridian Ave. and another driveway with the middle school parking lot.

J. *Site plan provides for the safe movement of pedestrians within the site.*

- The proposed development does provide for the safe movement of pedestrians within the site.

STAFF RECOMMENDATION: City staff recommends approval of this site plan application.

Proposed Building Façade Renderings



Interior Renderings

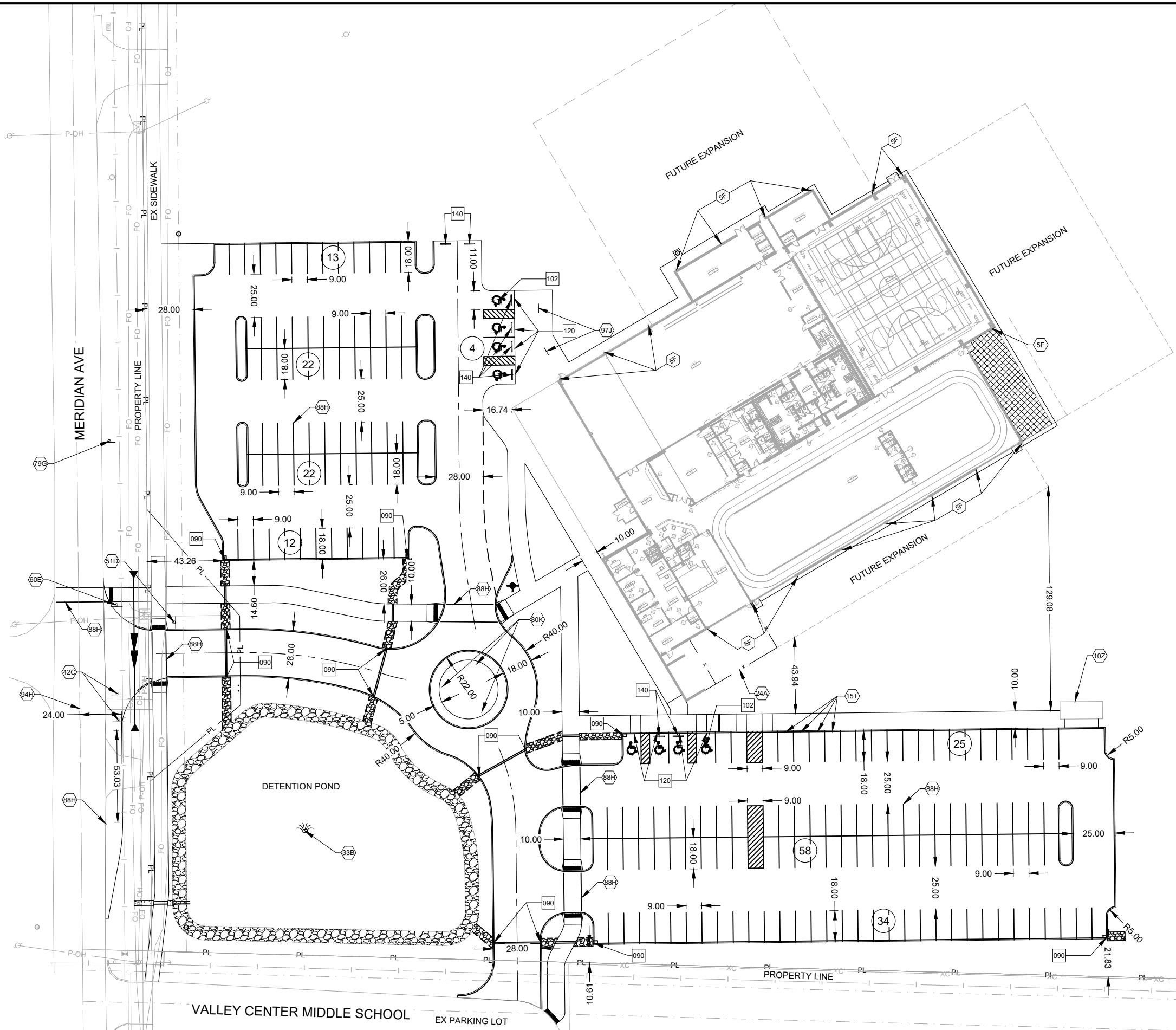




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CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
2. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED. CONTRACTOR TO FOLLOW CITY OF VALLEY CENTER STANDARD SPECIFICATIONS AND DETAILS. CITY OF VALLEY CITY SHALL BE CONTACT PRIOR TO WORK BEGINNING.
3. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA.
4. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
5. PARKING PROVIDED: 190 STALLS (INCLUDING 8 ADA UNIVERSAL STALLS)

1 PARKING COUNT

DETAILS - SEE DETAIL SHEET FOR THE FOLLOWING DETAILS

090 CURB OPENING FLUME
102 90° ACCESSIBLE PARKING
120 ACCESSIBLE PARKING SIGNAGE
140 WHEEL STOP

CYCLOHEXANE

- 5F DOWNSPOUT
- 10Z TRASH ENCLOSURE - SEE ARCHITECTURE PLANS FOR DETAILS
- 15T EV CHARGING STATION STALLS - INSTALL EV SIGNAGE & MARKINGS
- 24A FENCING - SEE ARCHITECTURE PLANS FOR DETAILS
- 33B FOUNTAIN - EFL-190 FOUNTAIN (TRUMPET SPRAY) BY EAGLE FOUNTAINS OR APPROVED EQUAL
- 42C REMOVE SIGN
- 51D STOP SIGN ON 2-1/4" SQUARE POST
- 60E INSTALL REMOVED CROSSING SIGN
- 79G INSTALL REMOVED NO PARKING SIGN
- 80K INSTALL R6-4 (24"X30") SIGN ON 2-1/4" SQUARE POSTS
- 88H 4" WHITE PAINT STRIPING
- 94H REMOVE EXISTING CROSSWALK STRIPING
- 97L BIKE RACK



ALTERNATE: SYNTHETIC TURF SURFACING

SITE NOTES

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING ENTRANCE, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
4. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

THE COORDINATES PROVIDED ON THIS PLAN ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN HEREON BEFORE CONSTRUCTION.



PROJECT NOTES

1. CONTRACTOR WILL BE REQUIRED TO PROVIDE NOTICE TO UTILITY COMPANIES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION. KANSAS ONE-CALL (316) 687-2470. CONTRACTOR EMERGENCY CONTACTS:

AT&T	1-800-246-8464
COX COMM	1-888-249-3530
EVERGY	1-800-544-4857
KANSAS GAS	1-888-482-4950
2. ANY LANDSCAPING, ROCK, PAVERS OR OTHER MISCELLANEOUS ITEMS IN THE RIGHT OF WAY THAT WILL BE REMOVED WITH THIS PROJECT, MUST BE SALVAGED AND REPLACED IN A SIMILAR LOCATION AS PREVIOUS BY THE CONTRACTOR. THIS WORK SHALL BE CONSIDERED SUBSIDIARY.
3. CONTRACTOR SHALL PROVIDE ALL STAKING FOR THE PROJECT. CAD FILES OF ALL DESIGN INFORMATION SHALL BE MADE AVAILABLE TO THE CONTRACTOR FOR STAKING PURPOSES.
4. ALL MATERIAL TESTING SHALL BE PAID FOR BY THE CITY, ALL RETESTS SHALL BE PAID FOR BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND DETERMINE LOCATION AND ELEVATIONS OF THE EXISTING AND PROPOSED PAVEMENT, WHICH SHALL FOLLOW THE GENERAL DRAINAGE SHOWN ON THE GRADES AND ROADWAY PROFILES.
6. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, OR BACK OF CURB, FOLLOW WRITTEN DIMENSIONS ALWAYS.
7. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. ALL CONSTRUCTION SHALL BE COMPLETED FOLLOWING CURRENT CITY STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.

SANITARY SEWER NOTES

1. SANITARY SEWERS SHALL BE SEPARATED BY AT LEAST 10 FT. HORIZONTALLY FROM ANY EXISTING OR PROPOSED PARALLEL WATER MAINS, MEASURED EDGE TO EDGE.
2. ALL SANITARY SEWER WILL BE DONE UNDER A PLUMBERS PERMIT, AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.
3. PRIOR TO FINAL ACCEPTANCE ALL SEWER MAIN SHALL BE AIR TESTED BY THE CONTRACTOR IN ACCORDANCE WITH CITY OF VALLEY CENTER SPECIFICATIONS.
4. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL HAVE THE SEWER MAIN TV INSPECTED AND THE COST OF SUCH WORK SHALL BE SUBSIDIARY TO THE PRICE BID FOR SEWER WITH INSTALLATION.
5. PRIOR TO FINAL ACCEPTANCE, VACUUM TESTING SHALL BE PERFORMED ON ALL MANHOLES TO CONFORM TO THE REQUIREMENTS OF STANDARD TEST METHOD FOR CONCRETE MANHOLES BY THE "NEGATIVE AIR PRESSURE (VACUUM) TEST" ASTM DESIGNATION C-1244.
6. SANITARY SEWER PIPE SHALL BE PVC SDR 35 FOR 8". PIPE BEDDING SHALL MEET LOCAL STANDARD PLANS.
7. SANITARY SEWER MANHOLES SHALL BE 48" I.D. AND MEET LOCAL STANDARD PLANS.

WATER MAIN NOTES

1. THE WATER DISTRIBUTION DIVISION SHALL FIELD LOCATE WATER VALVES ONE TIME DURING CONSTRUCTION WHEN REQUESTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SUCH FIELD LOCATIONS DURING THE CONSTRUCTION PROCESS. WATER VALVES, VALVE BOXES OR FIRE HYDRANTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE. VALVE BOXES AND WATER METERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO MATCH FINAL GRADES BY THE CONTRACTOR.
2. OPENING AND CLOSING OF WATER VALVES SHALL BE DONE SLOWLY TO PREVENT DAMAGE TO THE WATER DISTRIBUTIONS SYSTEM FROM WATER HAMMER. ALL VALVES CLOSED BY THE CONTRACTOR MUST BE REOPENED AS NEW CONSTRUCTION PERMITS. THE PROJECT INSPECTOR MUST ASCERTAIN THAT ANY VALVE CLOSED BY THE CONTRACTOR IS REOPENED. THE CONTRACTOR WILL BE PERMITTED TO OPERATE WATER VALVES ONLY WHEN THE PROJECT INSPECTOR ASSIGNED TO THE PROJECT IS PRESENT.
3. THE CONTRACTOR SHALL PROVIDE MATERIALS FOR TEMPORARY BLOWOFF OF WATERLINES. CONNECTIONS TO THE EXISTING WATERLINE(S) SHALL BE MADE WITH CLEAN, SWABBED PIPE AND FLUSHED UPON COMPLETION OF TIE-INS.
4. REQUESTS FOR SHORT TERM WATER INTERRUPTIONS SHALL BE MADE TO THE CITY WATER DISTRIBUTION DIVISION AND WILL BE SUBJECT TO THEIR APPROVAL. THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO ANY PROPERTY OWNER, BUSINESS, AND/OR TENANTS THAT WILL HAVE WATER SERVICE INTERRUPTED AT LEAST 5 DAYS IN ADVANCE. SUCH NOTIFICATIONS SHOULD INDICATE THE TIME AND DATE THAT THE WATER WILL BE TURNED OFF AND WHEN THE SERVICE WILL BE RESTORED. NO BUSINESS, PROPERTY OWNER, AND/OR TENANTS SHALL BE WITHOUT WATER SERVICE FOR MORE THAN 8 HOURS. PROPOSED TIE IN LOCATIONS WHICH WILL AFFECT WATER SERVICE TO PROPERTY OWNERS SHALL BE PREFORMED DURING NON-PEAK HOURS.
5. THE CONTRACTOR MUST SCHEDULE THE CONNECTIONS TO THE EXISTING MAIN WITH THE CITY SUCH THAT THERE IS A MINIMUM DISRUPTION OF SERVICE. CONNECTIONS SHALL BE MADE DURING PERIODS OF LOW WATER USAGE. THE CONTRACTOR SHALL SUBMIT HIS PROPOSED SCHEDULE FOR COMPLETING WORK FOR CITY APPROVAL AT LEAST 10 DAYS PRIOR TO BEGINNING CONSTRUCTION.
6. DEFLECTIONS AT PIPE JOINT OR COUPLINGS SHALL NOT EXCEED THE PIPE MANUFACTURES RECOMMENDED MAXIMUM. WHERE DEFLECTIONS ARE GREATER THAN THE MAXIMUM ALLOWED, THE CONTRACTOR SHALL UTILIZE FITTINGS.
7. ANY EXISTING JOINT EXPOSED DURING EXCAVATION SHALL BE REPLACED IF WITHIN FOUR FEET OF PROPOSED WATER MAIN JOINT.
8. VALVES 12 INCH AND LARGER ARE TO BE OPERATED BY THE VALLEY CENTER WATER DISTRIBUTION DIVISION, 48 HOURS OF ADVANCE NOTICE IS REQUIRED WITH THE WATER DISPATCH AT 1-316-755-7320.
9. THE CONTRACTOR SHALL PROTECT FROM DAMAGE AND SUPPORT EXISTING UTILITIES THROUGH CONSTRUCTION AS APPROVED BY THE UTILITY OWNER AND THE ENGINEER AT THE CONTRACTORS EXPENSE.
10. CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH OPENINGS OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.
11. MAINTAIN A MINIMUM OF 10-FOOT HORIZONTAL SEPARATION BETWEEN ALL WATER LINES (MAINS, SERVICES, AND FIRE HYDRANTS) AND ALL SANITARY SEWER LINES (MAIN, SERVICES, AND MANHOLES). ALL SEPARATION DISTANCES ARE TO BE MEASURED FROM EDGE-TO-EDGE, AT THE CLOSEST POINT.
12. MAINTAIN A MINIMUM OF 2-FOOT VERTICAL SEPARATION BETWEEN ALL WATER LINES (MAIN AND SERVICES) AND ALL GRAVITY SANITARY SEWER LINES (MAINS, SERVICES, AND MANHOLES) AT CROSSINGS. ALL SEPARATION DISTANCES ARE TO BE MEASURED FROM EDGE-TO-EDGE, AT THE CLOSEST POINT.
13. MAINTAIN A MINIMUM OF 2-FOOT VERTICAL SEPARATION BETWEEN ALL WATER LINES (MAINS AND SERVICES) AND ALL PRESSURIZED SANITARY SEWER LINES (FORCE MAINS AND SERVICES) AT CROSSINGS. WATERLINES MUST ALWAYS BE PLACED ABOVE PRESSURIZED SANITARY SEWER LINES WHERE THEY CROSS. ALL SEPARATION DISTANCES ARE TO BE MEASURED FROM EDGE-TO-EDGE, AT THE CLOSEST POINT.
14. FOR DETAILS OF TYPICAL HYDRANT INSTALLATIONS, SEE CITY OF VALLEY CENTER STANDARD PLANS.
15. PRIOR TO FINAL ACCEPTANCE ALL WATER MAIN PIPE SHALL BE PRESSURE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF VALLEY CENTER SPECIFICATIONS.
16. PRIOR TO FINAL ACCEPTANCE ALL WATER MAIN PIPE SHALL BE DISINFECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF VALLEY CENTER SPECIFICATIONS.
17. ALL WATER MAIN CONSTRUCTION TO BE DONE UNDER A PLUMBERS PERMIT AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.

GRADING NOTES

1. THE PROPOSED CONTOURS REPRESENT TOP OF SLAB, TOP OF CURB, OR TOP OF SIDEWALK IN PAVEMENT, IN ALL OTHER AREAS, THEY REPRESENT THE FINISHED GROUND SURFACE.
2. THE EXISTING AND PROPOSED FINISHED GROUND SURFACES ARE AVAILABLE ELECTRONICALLY FOR CONTRACTOR VERIFICATION VIA E-MAIL (IN AUTOCAD 2007 FORMAT). THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXISTING GROUND SURFACE ELEVATIONS.
3. ALL LINES SHOWN REPRESENTING PAVEMENT ARE TO BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
4. CONTRACTOR WILL BE HELD RESPONSIBLE FOR SETTLEMENT DUE TO IMPROPER COMPACTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY GRADING WILL TAKE PLACE BEYOND THE RIGHT OF WAY LINE.
7. ALL HERBACEOUS VEGETATION SHALL BE REMOVED FROM WITHIN THE LIMITS OF GRADING PRIOR TO PLACEMENT OF FILL MATERIAL AND REDISTRIBUTED WITH THE TOPSOIL. A STRIPPING DEPTH OF 6" IS ANTICIPATED ON THIS SITE.
8. SUFFICIENT TOPSOIL SHOULD BE SALVAGED AND STOCKPILED BY THE CONTRACTOR FOR RE-SPREADING IN PERMANENT PLANTING AREAS. STOCKPILING AND RE-SPREADING OF TOPSOIL IS NOT A SEPARATE BID ITEM, BUT SHALL BE CONSIDERED SUBSIDIARY TO THE SITE GRADING.
9. TOPSOIL SALVAGED AS PART OF THE EXCAVATION SHALL BE PLACED TO A MINIMUM DEPTH OF 6 INCHES OVER ALL AREAS DISTURBED BY THE WORK. LARGE STONES, STICKS AND LUMPS SHALL BE REMOVED OR BROKEN UP, AND THE TOPSOIL SHALL BE LEVELED AND RAKED TO MATCH ADJACENT GRADES, READY FOR SEEDING. ANY ROCK OR SAND FROM PAVING ACTIVITIES SHALL BE REMOVED PRIOR TO PLACEMENT OF TOPSOIL. ALL EXCESS SOILS, NOT RE-SPREAD WITHIN THE PROJECT LIMITS, SHALL BE REMOVED BY THE CONTRACTOR.
10. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN.
11. CONTRACTOR SHALL GRADE ALL LOW SPOTS TO DRAIN.
12. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ENGINEER METHODS TO VERIFY POSITIVE DRAINAGE.
13. CONTRACTOR SHALL GRADE TO CONTOURS SHOWN IN GREENSPACES.
14. AT THE COMPLETION OF GRADING, THE CONTRACTOR SHALL REMOVE ANY EXCESS EXCAVATION FROM THE SITE.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS PRIOR TO COMMENCING CONSTRUCTION.
16. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES, IF NECESSARY.
17. ANY GEOTECHNICAL/TESTING REPORTS SOLICITED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER.

PAVING NOTES

1. THE PROPOSED CONTOURS REPRESENT TOP OF SLAB, TOP OF CURB, OR TOP OF SIDEWALK IN PAVEMENT, IN ALL OTHER AREAS, THEY REPRESENT THE FINISHED GROUND SURFACE.
2. THE EXISTING AND PROPOSED FINISHED GROUND SURFACES ARE AVAILABLE ELECTRONICALLY FOR CONTRACTOR VERIFICATION VIA E-MAIL (IN AUTOCAD 2007 FORMAT). THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXISTING GROUND SURFACE ELEVATIONS.
3. ALL LINES SHOWN REPRESENTING PAVEMENT ARE TO BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
4. CONTRACTOR WILL BE HELD RESPONSIBLE FOR SETTLEMENT DUE TO IMPROPER COMPACTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY GRADING WILL TAKE PLACE BEYOND THE RIGHT OF WAY LINE.
7. ALL HERBACEOUS VEGETATION SHALL BE REMOVED FROM WITHIN THE LIMITS OF GRADING
8. EXPANSION JOINTS SHALL BE BUILT AS SHOWN FOR PAVING. EXPANSION JOINTS FOR SIDEWALKS SHALL BE $\frac{1}{2}$ " EXPANSION MATERIAL PLACED EVERY 100 LINEAR FEET OF SIDEWALK.
9. SIDEWALKS SHALL BE CONSTRUCTED WITH 4" OF CRUSHED CONCRETE OR ROCK OR OTHER BASE MATERIAL DEEMED SUFFICIENT BY THE ENGINEER, AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
10. INTERSECTIONS SHALL BE BUILT PER STANDARD DETAILS TO ALLOW FOR THROUGH DRAINAGE IN THE GUTTER LINE. INTERSECTION GRADES AND DRAINAGE SHALL BE DISCUSSED WITH THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE.

CONSTRUCTION NOTES

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SEH Project	VALCT/170526	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	--
Designed By	--
Checked By	--

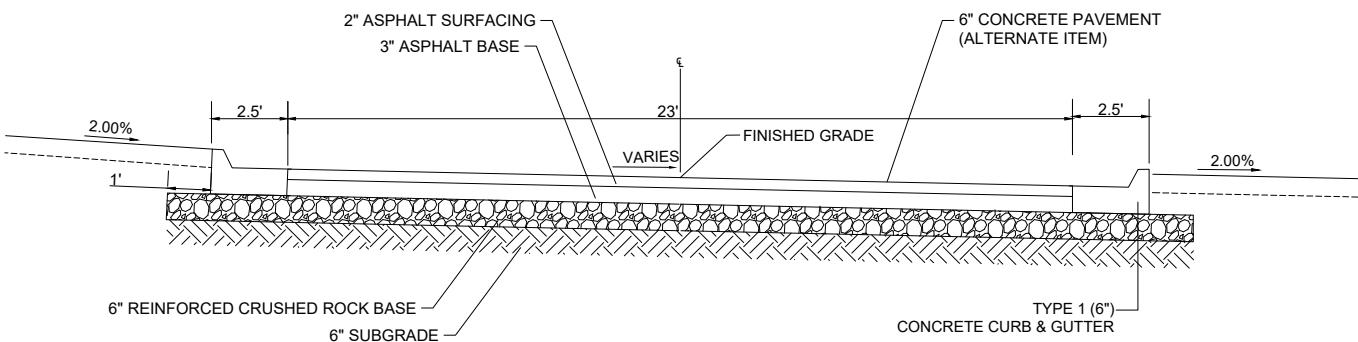


AQUATIC CENTER VALLEY CENTER, KANSAS

CONSTRUCTION NOTES VALLEY CENTER, KANSAS

A circular stamp with a dotted border. The text inside is arranged in a circle: "JACOB R. VALENCIA" at the top, "CENSUS TAKER" in the middle, and "323227" at the bottom. The words "PROFESSIONAL ENGINEER" are written along the bottom edge, and "KANSAS" is written along the right edge.

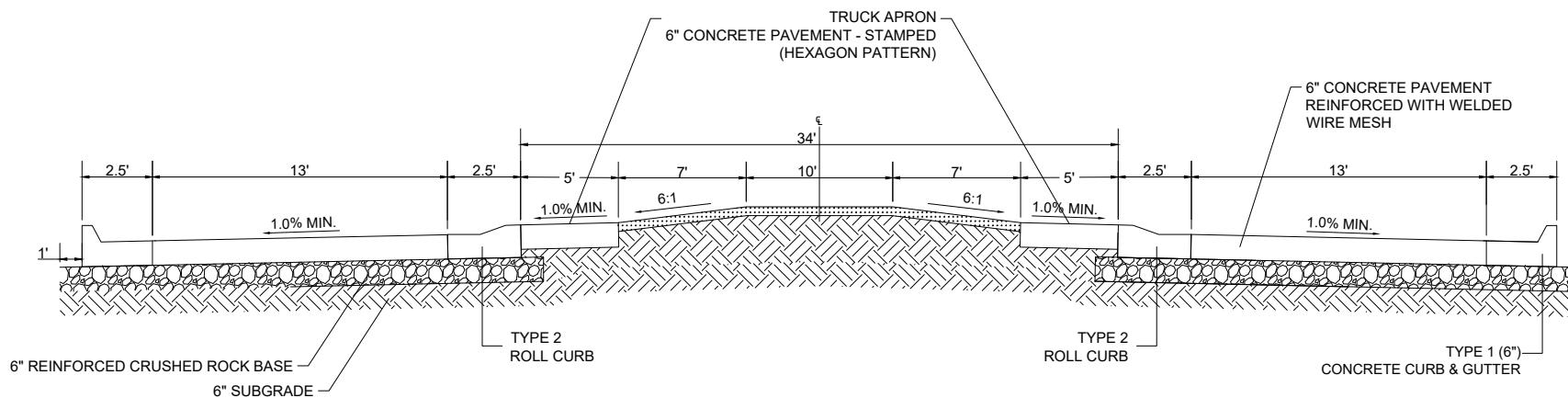
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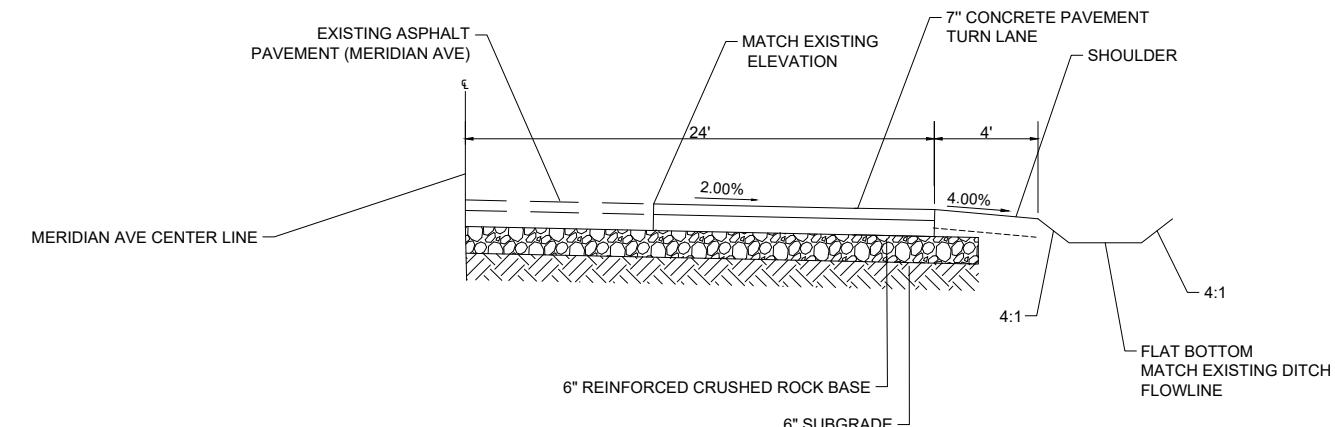
TYPICAL SECTION NOTES:

1. MAX. LONGITUDINAL JOINT SPACING SHALL BE 13'
2. MAX. TRANSVERSE JOINT SPACING SHALL BE 12'
3. EXPANSION JOINTS SHALL BE PLACED EVERY 600' MAX. OR AS SHOWN ON THE PLANS FOR CONCRETE PAVING, AND CONCRETE CURB AND GUTTER.
4. ALL CRUSHED ROCK BASE SHALL BE REINFORCED WITH GEOGRID
5. EXPANSION JOINT SHALL BE PLACED WHERE CONCRETE PAVEMENT THICKNESSES CHANGE.
6. ALL SIDEWALKS SHALL BE PLACED ON 6" OF COMPACTED SUBGRADE, COMPACTION SHALL BE 95% STD. PROCTOR (ASTM D698), THIS SHALL BE CONSIDERED SUBSIDIARY TO SIDEWALK BID ITEMS
7. ALL SUBGRADE SHALL BE 6" OF SCARIFIED AND MOISTURE CONDITIONED SOIL COMPACTION TO 95% STD. PROCTOR (ASTM D698), THIS SHALL BE CONSIDERED SUBSIDIARY TO PAVEMENT BID ITEMS

TYPICAL ACCESS ROADS + PARKING LOT SECTION

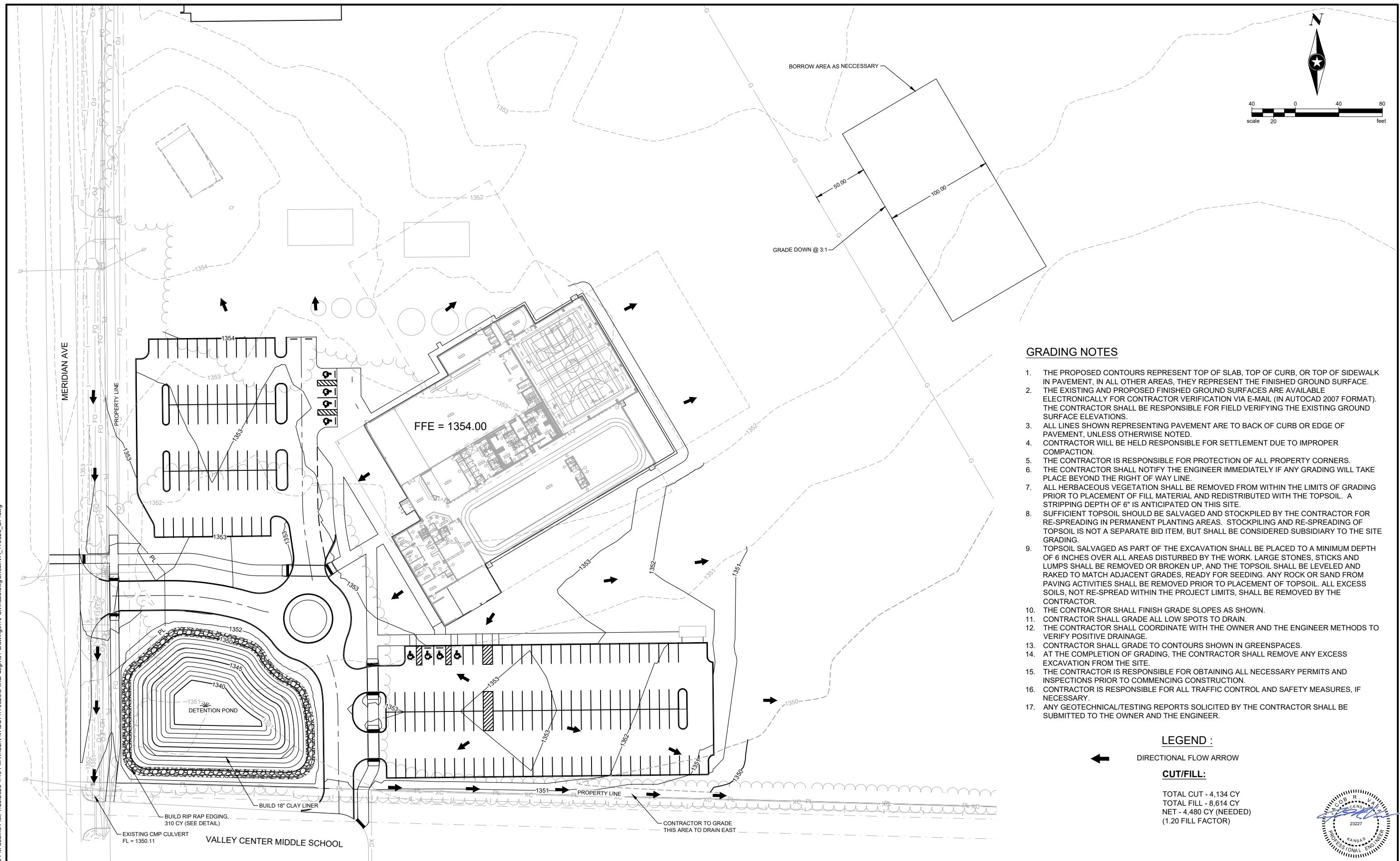


TYPICAL MINI-ROUNDABOUT SECTION



TYPICAL TURN LANE SECTION

TYPICAL SECTION PLAN



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SEH Project	VALCT/170526	Rev.#	Revision Issue Description	Date	File No.
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Designed By	--	.			
Checked By	--	.			

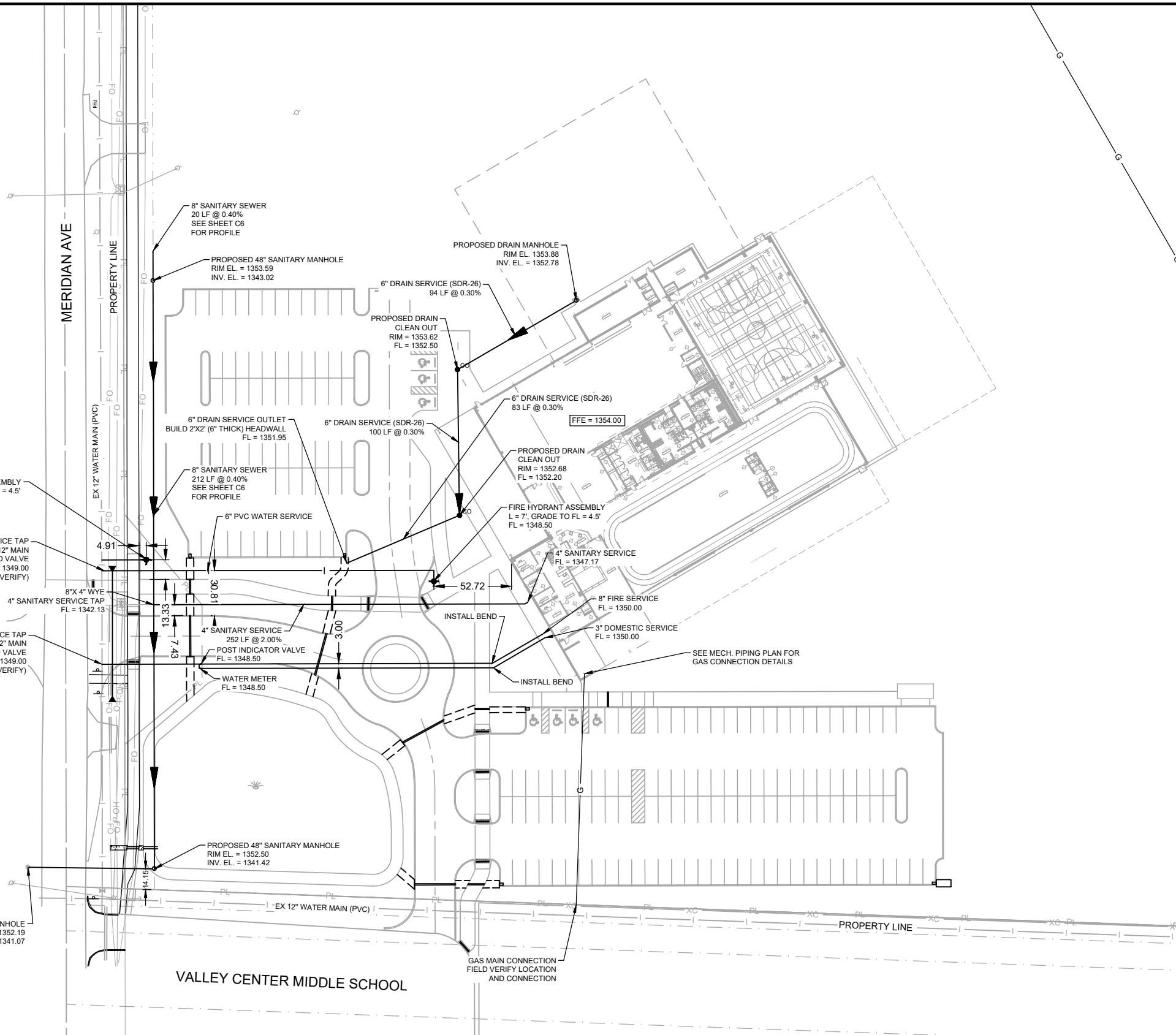
GRADING PLAN

AQUATIC CENTER

VALLEY CENTER, KANSAS

GRADING PLAN VALLEY CENTER, KANSAS

C4



UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMprise ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES THAT CAN BE EXCAVATED UNLESS OTHERWISE NOTED ON THIS SURVEY.

UTILITY NOTES:

1. CONSTRUCTION SHALL NOT START ON ANY PUBLIC WATER OR SEWER SYSTEM UNTIL WRITTEN APPROVAL OR PERMITS HAVE BEEN RECEIVED FROM THE OWNER.
2. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
3. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. CITY OF VALLEY CENTER AND ENGINEER ARE TO BE HELD HARMLESS.
4. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF THE CITY WATER DEPARTMENT. CONTRACTOR SHALL NOTIFY THE CITY OF VALLEY CENTER WATER DEPARTMENT 24 HOURS MINIMUM, PRIOR TO ANY TESTING.
5. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF VALLEY CENTER AND THE STATE OF KANSAS AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTORS RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
6. LOCATIONS SHOWN FOR PROPOSED SERVICE LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
7. CONTRACTOR TO INSTALL TRACING WIRE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
8. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
9. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES.
10. THE CONTRACTOR SHALL VERIFY AND/OR COORDINATE WITH THE VARIOUS SERVICE PROVIDERS ON THE EXACT LOCATIONS OF METERS, CONNECTION POINTS AND OTHER SPECIFIC PROJECT REQUIREMENTS. THE PROPOSED SERVICE LINE LOCATIONS SHOWN.
11. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE OR PVC PIPE WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.



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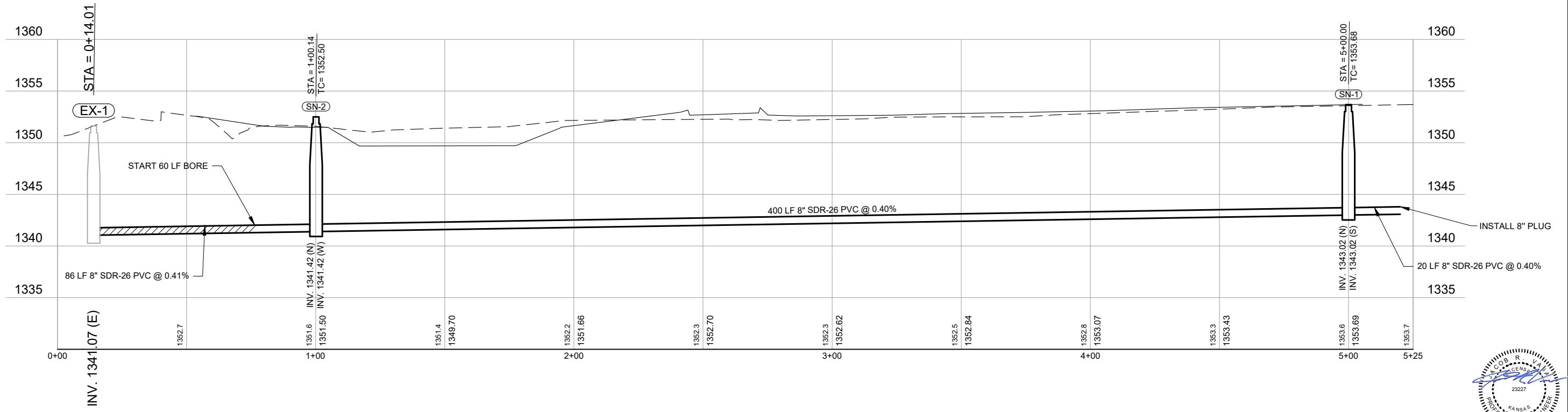
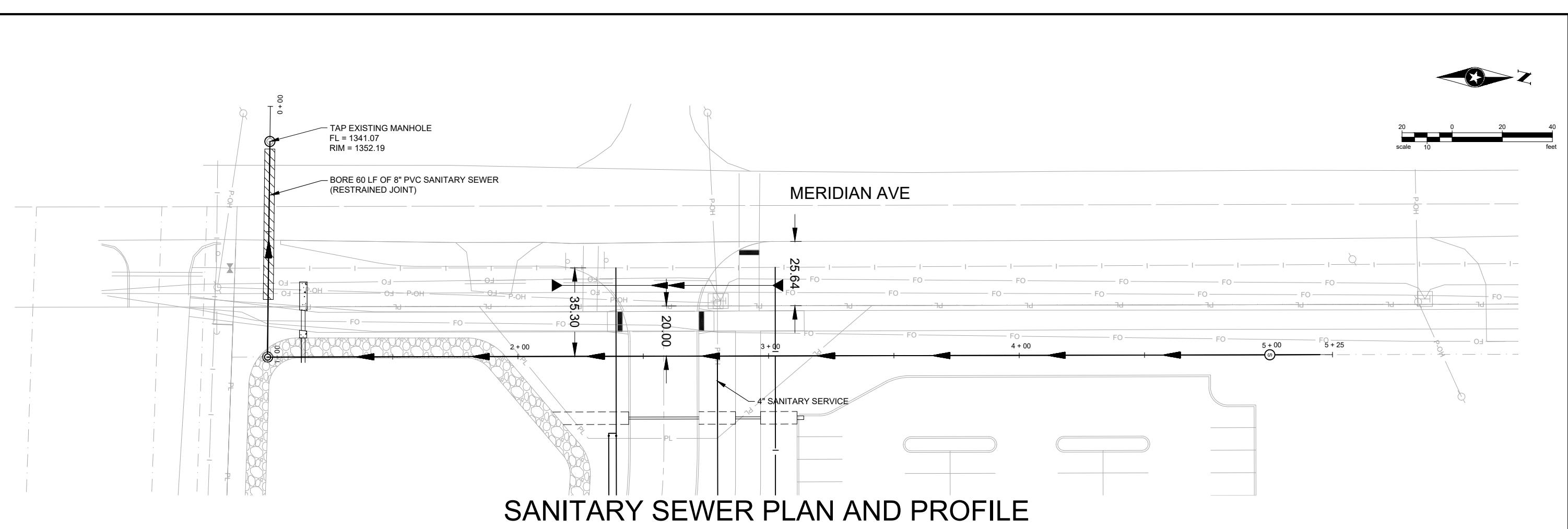
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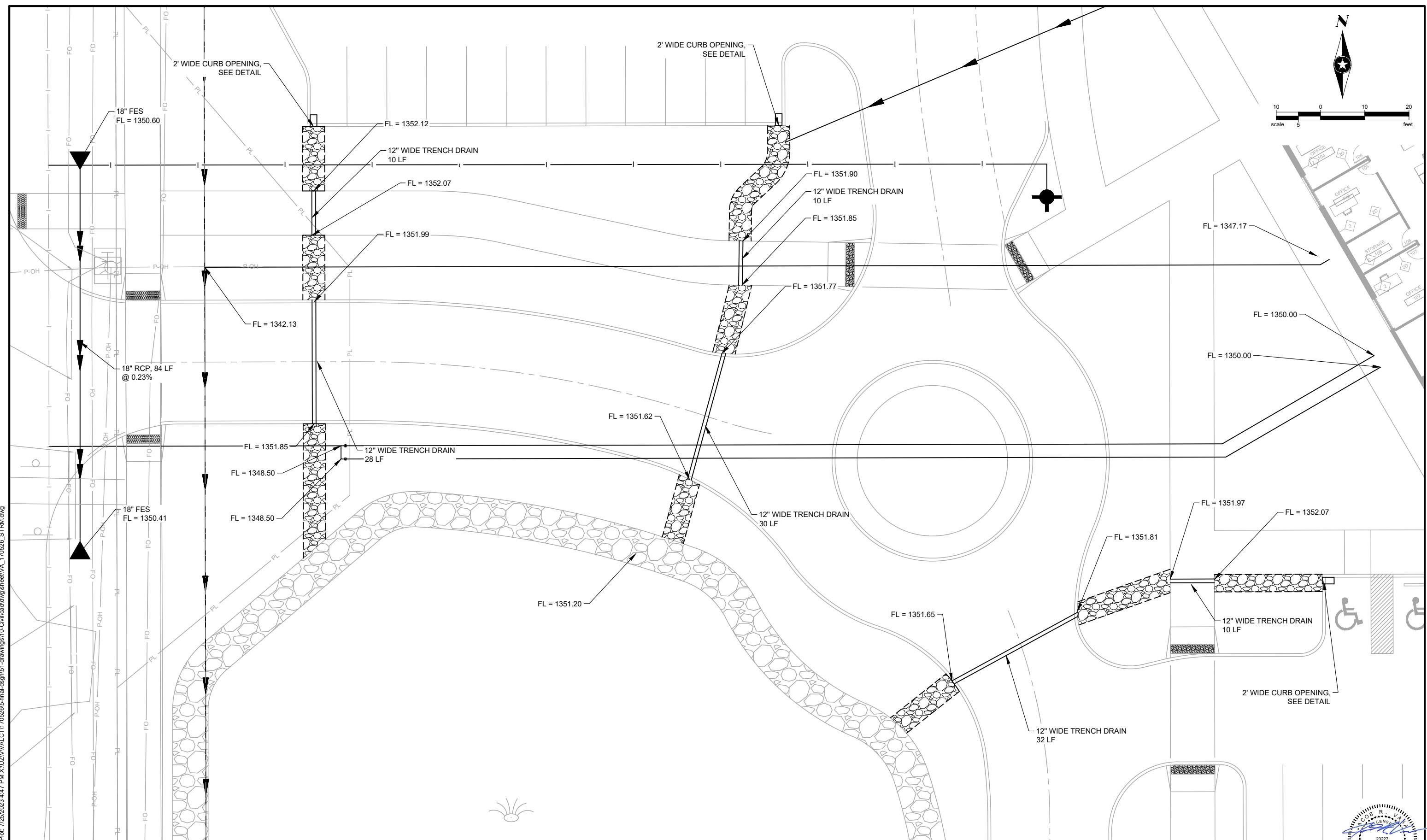
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VALLEY CENTER, KANSAS

UTILITY LAYOUT VALLEY CENTER, KANSAS

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STORM SEWER DETAIL

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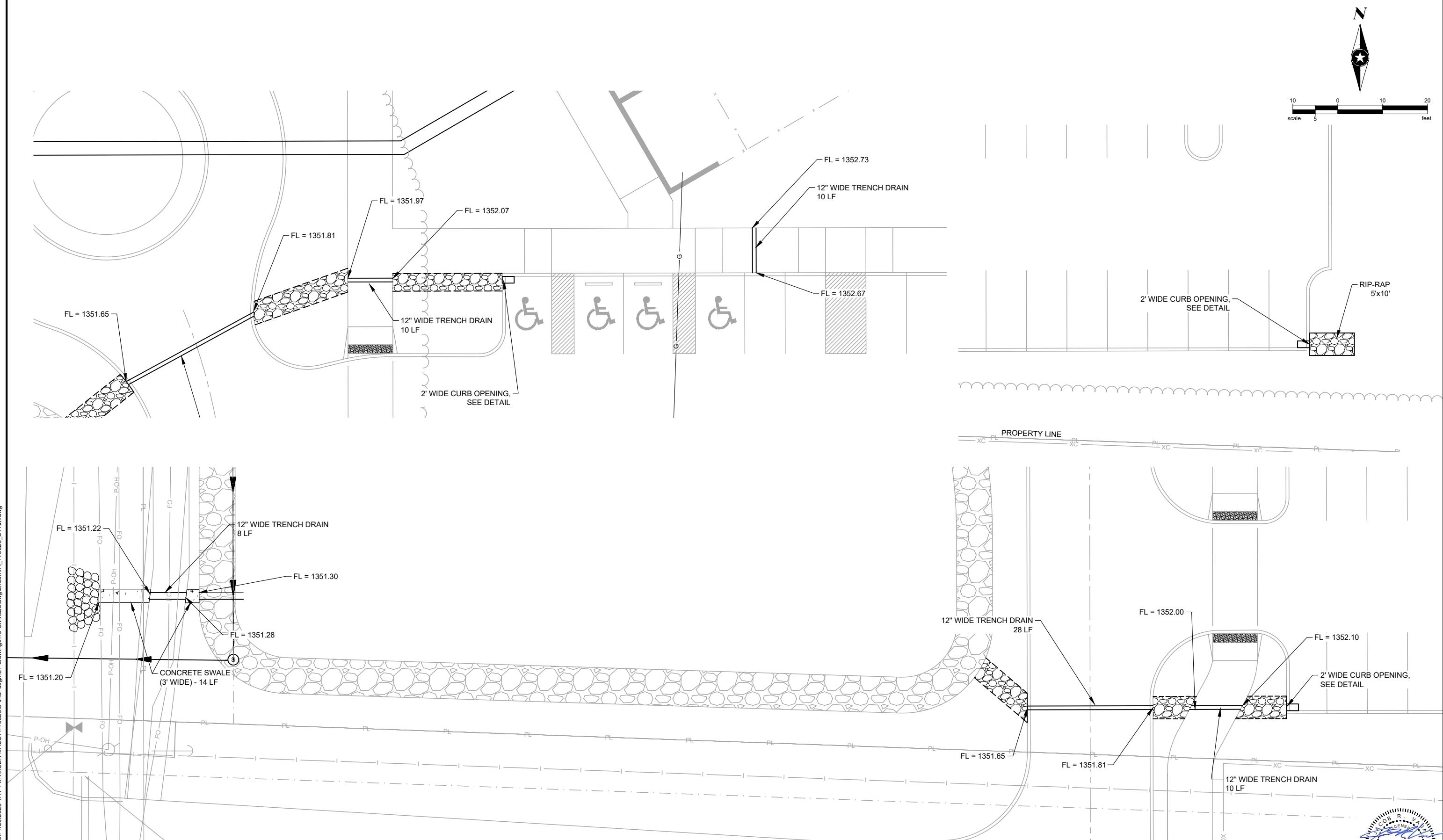


AQUATIC CENTER

VALLEY CENTER, KANSAS

STORM SEWER DETAIL VALLEY CENTER, KANSAS

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STORM SEWER DETAIL

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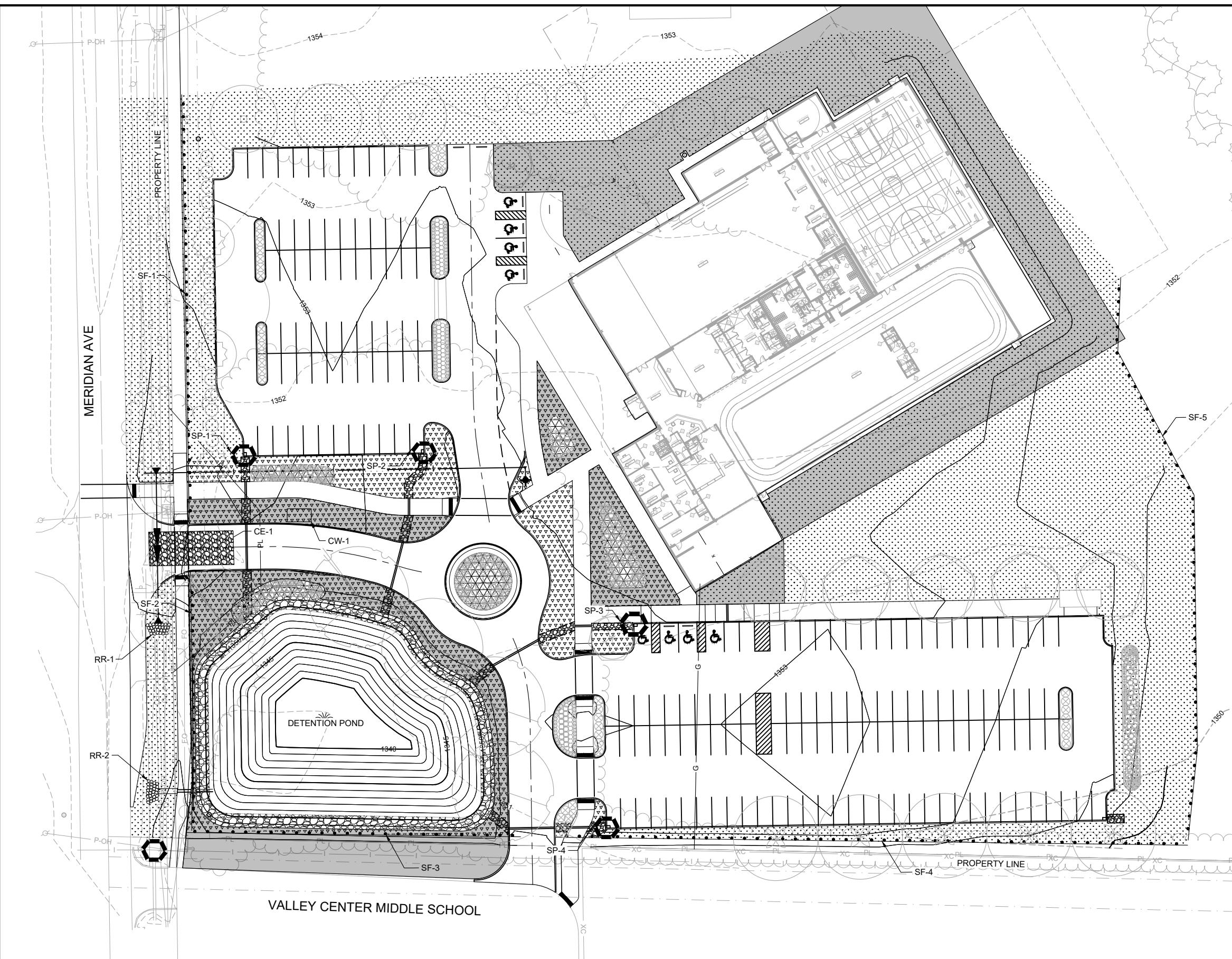
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AQUATIC CENTER
VALLEY CENTER, KANSAS

STORM SEWER DETAIL
VALLEY CENTER, KANSAS





EROSION CONTROL

- TEMPORARY ROCK CONSTRUCTION ENTRANCE
- STORM DRAIN INLET PROTECTION
- SILT FENCE
- CONCRETE WASHOUT
- SEEDING AND MULCHING
- RIP RAP OUTLET
- SOD GRASS - BERMUDA



EROSION CONTROL

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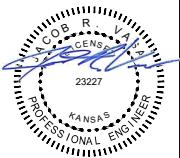
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AQUATIC CENTER
VALLEY CENTER, KANSAS

EROSION CONTROL
VALLEY CENTER, KANSAS



C9

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN IS DESIGNED TO MEET THE REQUIREMENTS OF CITY OF VALLEY CENTER'S POST CONSTRUCTION STORMWATER ORDINANCE.

EROSION PREVENTION MEASURES AND TIMING:
THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION MEASURES FOR THE PROJECT.

EROSION PREVENTION MEASURES SHOWN ON PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL EROSION PREVENTION MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.

THE CONTRACTOR SHALL PLAN AND IMPLEMENT APPROPRIATE CONSTRUCTION PRACTICES AND CONSTRUCTION PHASING TO MINIMIZE EROSION AND RETAIN VEGETATION WHENEVER POSSIBLE.

THE CONTRACTOR SHALL DELINEATE AREAS NOT TO BE DISTURBED AND/OR TO BE PROTECTED WITH FLAGS, STAKES, SIGNS, SILT FENCE, OR OTHER MEANS NECESSARY TO PROTECT THESE AREAS BEFORE CONSTRUCTION BEGINS ON THE SITE.

THE CONTRACTOR SHALL STABILIZE OF ALL EXPOSED SOILS IMMEDIATELY TO LIMIT SOIL EROSION. IN NO CASE SHALL ANY EXPOSED AREAS, INCLUDING STOCK PILES, HAVE EXPOSED SOILS FOR MORE THAN 14 DAYS WITHOUT PROVIDING TEMPORARY OR PERMANENT STABILIZATION.

DRAINAGE PATHS, DITCHES, AND/OR SWALES SHALL HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER OR 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THE DITCH/SWALE HAS TEMPORARILY OR PERMANENTLY CEASED.

THE CONTRACTOR SHALL IMPLEMENT STORMWATER CONVEYANCE CHANNELS WHEN APPROPRIATE TO ROUTE WATER AROUND UNSTABILIZED AREAS ON SITE TO REDUCE EROSION.

THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL BMP'S AND VELOCITY DISSIPATION DEVICES ALONG CONSTRUCTED STORMWATER CONVEYANCE CHANNELS AND OUTLETS.

THE CONTRACTOR SHALL STABILIZE TEMPORARY AND/OR PERMANENT DRAINAGE DITCHES OR SWALES WITHIN 200 LINEAL FEET FROM PROPERTY EDGE, OR DISCHARGE POINT(S) WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE.

TEMPORARY OR PERMANENT DITCHES OR SWALES USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

THE CONTRACTOR SHALL NOT UTILIZE HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES AS A FORM OF STABILIZATION FOR TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES.

THE CONTRACTOR SHALL ENSURE PIPE OUTLETS HAVE TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.

THE CONTRACTOR SHALL DIRECT DISCHARGES FROM BMP'S TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORMWATER INFILTRATION. VELOCITY DISSIPATION DEVICES MUST BE USED TO PREVENT EROSION WHEN DIRECTING STORMWATER TO VEGETATED AREAS.

SEDIMENT CONTROL MEASURES AND TIMING:

THE CONTRACTOR SHALL ENSURE SEDIMENT CONTROL MEASURES ARE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADEMENT AND DISTURBING ACTIVITIES BEGIN. THESE MEASURES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.

THE CONTRACTOR SHALL ENSURE THERE ARE NO UNBROKEN SLOPE LENGTH GREATER THAN 75 FEET ON SLOPES 3:1 OR STEEPER.

THE CONTRACTOR SHALL ENSURE SEDIMENT CONTROL PRACTICES REMOVED OR ADJUSTED FOR SHORT-TERM ACTIVITIES BE RE-INSTALLED IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY HAS BEEN COMPLETED. SEDIMENT CONTROL PRACTICES MUST BE REINSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.

THE CONTRACTOR SHALL ENSURE STORM DRAIN INLETS AND CULVERT INLETS ARE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAS BEEN STABILIZED.

THE CONTRACTOR SHALL ENSURE STOCK PILES ARE PROVIDED WITH AN EFFECTIVE SEDIMENT PERIMETER CONTROL AND STOCK PILES SHALL NOT BE PLACED IN ANY TYPE OF SURFACE WATER OR NATURAL BUFFER.

THE CONTRACTOR SHALL INSTALL PERIMETER CONTROL AROUND ALL STAGING AREAS, BORROW PITS, AND AREAS CONSIDERED ENVIRONMENTALLY SENSITIVE.

THE CONTRACTOR SHALL ENSURE VEHICLE TRACKING BE MINIMIZED WITH EFFECTIVE BMP'S. WHERE THE BMP'S FAIL TO PREVENT SEDIMENT FROM TRACKING ONTO STREETS THE CONTRACTOR SHALL CONDUCT STREET SWEEPING TO REMOVE ALL TRACKED SEDIMENT.

THE CONTRACTOR SHALL IMPLEMENT CONSTRUCTION PRACTICES TO MINIMIZE SOIL COMPACTION.

THE CONTRACTOR SHALL ENSURE ALL CONSTRUCTION ACTIVITY REMAIN WITHIN PROJECT LIMITS.

THE CONTRACTOR SHALL NOT UTILIZE SEDIMENT CONTROL CHEMICALS ON SITE.

EROSION PREVENTION BMP SUMMARY:

SEE EROSION CONTROL PLAN SHEET FOR TYPE, LOCATION, AND QUANTITY OF EROSION PREVENTION BMP'S.

SEDIMENT CONTROL BMP SUMMARY:

SEE EROSION CONTROL PLAN SHEETS FOR TYPE, LOCATION, AND QUANTITY OF SEDIMENT CONTROL BMP'S.

STANDARD DETAILS

NUMBER	NAME	LOCATION
SW501	Construction Entrance	City Of Wichita Standard Details
SW502	Silt Fence	City Of Wichita Standard Details
SW502	Storm Drain Inlet Protection	City Of Wichita Standard Details
SW503	Straw Bale Ditch Check	City Of Wichita Standard Details

The City Of Wichita Standard Details can be found at <http://www.wichita.gov>

MAINTENANCE SCHEDULE

THE FOLLOWING MAINTENANCE SCHEDULE HAS BEEN PROVIDED. THE INSPECTOR MUST PERFORM THE INSPECTIONS. THE OPERATOR/CONTRACTOR MUST PERFORM ALL NEEDED MAINTENANCE. FURTHERMORE, ALL EROSION CONTROL FEATURE REQUIRING MAINTENANCE MAY NOT BE LISTED BELOW. THE OPERATOR/CONTRACTOR AND INSPECTOR MUST PERFORM THEIR RESPECTIVE DUTIES ON ALL BMP'S THAT ARE NOT LISTED BELOW AS WELL.

1. CONSTRUCTION ENTRANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.

2. SILT FENCE - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (2.1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY; (2.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING; (2.3) SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEFUL LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY; (2.4) SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER; AND (2.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

3. STORM DRAIN INLET PROTECTION - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (3.1) STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY AND (3.2) STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

4. TEMPORARY DIVERSION DIKE - THE MEASURE SHALL BE INSPECTED AFTER EVERY STORM AND REPAIRS MADE TO THE DIKE, FLOW CHANNEL OUTLET OR SEDIMENT TRAPPING DEVICE, AS NECESSARY. ONCE EVERY TWO WEEKS, WHETHER A STORM EVENT HAS OCCURRED OR NOT, THE MEASURE SHALL BE INSPECTED AND REPAIRS MADE IF NEEDED. DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE END OF EACH WORKING DAY.

5. TEMPORARY FILL DIVERSION - SINCE THE PRACTICE IS TEMPORARY AND UNDER MOST SITUATIONS WILL BE COVERED THE NEXT WORKING DAY, THE MAINTENANCE REQUIRED SHOULD BE LOW. IF THE PRACTICE IS TO REMAIN IN USE FOR MORE THAN ONE DAY, AN INSPECTION SHALL BE MADE AT THE END OF EACH WORK DAY AND REPAIRS MADE TO THE MEASURE IF NEEDED. THE OPERATOR/CONTRACTOR SHOULD AVOID THE PLACEMENT OF ANY MATERIAL OVER THE STRUCTURE WHILE IT IS IN USE. CONSTRUCTION TRAFFIC SHOULD NOT BE PERMITTED TO CROSS THE DIVERSION.

6. TEMPORARY SEDIMENT TRAP - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (6.1) SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN VOLUME OF THE WET STORAGE. SEDIMENT REMOVAL FROM THE BASIN SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE SEDIMENTATION PROBLEMS; (6.2) FILTER STONE SHALL BE REGULARLY CHECKED TO ENSURE THAT FILTRATION PERFORMANCE IS MAINTAINED. STONE CHOKED WITH SEDIMENT SHALL BE REMOVED AND CLEANED OR REPLACED; AND (6.3) THE STRUCTURE SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE HEIGHT OF THE STONE OUTLET SHOULD BE CHECKED TO ENSURE THAT ITS CENTER IS AT LEAST 1 FOOT BELOW THE TOP OF THE EMBANKMENT.

7. TEMPORARY SEDIMENT BASIN - THE BASIN EMBANKMENT SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE EMERGENCY SPILLWAY SHOULD BE CHECKED REGULARLY TO ENSURE THAT ITS LINING IS WELL ESTABLISHED AND EROSION-RESISTANT. THE BASIN SHOULD BE CHECKED AFTER EACH RUNOFF PRODUCING RAINFALL FOR SEDIMENT CLEANOUT AND TRASH REMOVAL. WHEN THE SEDIMENT REACHES THE CLEANOUT LEVEL, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF.

8. TEMPORARY SEEDING - AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION WILL BE RE-SEEDED AS SOON AS SUCH AREAS ARE IDENTIFIED. CONTROL WEEDS BY MOWING.

9. PERMANENT SEEDING - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (9.1) IN GENERAL, A STAND OF VEGETATION CANNOT BE DETERMINED TO BE FULLY ESTABLISHED UNTIL IT HAS BEEN MAINTAINED FOR ONE FULL YEAR AFTER PLANTING; (9.2) NEW SEEDLINGS SHALL BE SUPPLIED WITH ADEQUATE MOISTURE, SUPPLY WATER AS NEEDED, ESPECIALLY LATE IN THE SEASON, IN ABNORMALLY HOT OR DRY CONDITIONS, OR ON ADVERSE SITES. WATER APPLICATIONS SHALL BE CONTROLLED TO PREVENT EXCESSIVE RUNOFF; (9.3) INSPECT ALL SEEDED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE; (9.3.A) IF STAND IS INADEQUATE FOR EROSION CONTROL, OVER SEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY SPECIFIED; (9.3.B) IF STAND IS 60% DAMAGED, RE-ESTABLISH FOLLOWING SEEDBED AND SEEDING RECOMMENDATIONS; (9.3.C) IF STAND HAS LESS THAN 40% COVERAGE, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER, THE SOIL MUST BE TESTED TO DETERMINE IF ACIDITY OR NUTRIENT IMBALANCES ARE RESPONSIBLE, RE-ESTABLISH THE STAND FOLLOWING SEEDBED AND SEEDING RECOMMENDATIONS.

10. MULCHING - ALL MULCHES AND SOIL COVERINGS SHOULD BE INSPECTED PERIODICALLY (PARTICULARLY AFTER RAINSTORMS) TO CHECK FOR EROSION. WHERE EROSION IS OBSERVED IN MULCHED AREAS, ADDITIONAL MULCH SHOULD BE APPLIED. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL, NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE; REPAIR AS NEEDED.

11. SOIL STABILIZATION BLANKETS & MATTING - ALL SOIL STABILIZATION BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY DISLOCATION OR FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL THE MATERIAL AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH, CONTINUE TO MONITOR THESE AREAS UNTIL WHICH TIME THEY BECOME PERMANENTLY STABILIZED; AT THAT TIME ANNUAL INSPECTIONS SHOULD BE ADEQUATE.

12. STREET CLEANING / SWEEPING - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (12.1) EVALUATE ACCESS POINTS DAILY FOR SEDIMENT TRACKING; (12.2) WHEN TRACKED OR SPILLED SEDIMENT IS FOUND ON PAVED SURFACES, IT WILL BE REMOVED DAILY, DURING TIMES OF HEAVY TRACK-OUT, SUCH AS DURING RAINS, CLEANING MAY BE DONE SEVERAL TIMES THROUGHOUT THE DAY; (12.3) UNKNOWN SPILLS OR OBJECTS WILL NOT BE MIXED WITH THE SEDIMENT; AND (12.4) IF SEDIMENT IS MIXED WITH OTHER POLLUTANTS, IT WILL BE DISPOSED OF PROPERLY AT AN AUTHORIZED LANDFILL.

FINAL STABILIZATION:
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE ENTIRE SITE. FINAL STABILIZATION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED.

ALL EXPOSED SOILS HAVE BEEN UNIFORMLY STABILIZED WITH AT LEAST 70% VEGETATION COVERAGE.

PERMANENT STORM WATER MANAGEMENT SYSTEM(S) ARE CONSTRUCTED AND ARE OPERATING AS DESIGNED.

ALL DRAINAGE DITCHES, PONDS, AND ALL STORM WATER CONVEYANCE SYSTEMS HAVE BEEN CLEARED OF SEDIMENT AND STABILIZED WITH PERMANENT COVER TO PRECLUDE EROSION.

ALL TEMPORARY BMP'S HAVE BEEN REMOVED AND PROPERLY DISPOSED OF.

INSPECTION AND MAINTENANCE:

ALL INSPECTIONS, MAINTENANCE, REPAIRS, REPLACEMENTS, AND REMOVAL OF BMP'S IS TO BE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING SITE INSPECTIONS, AND BMP MAINTENANCE TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS.

THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

THE CONTRACTOR SHALL DOCUMENT A WRITTEN SUMMARY OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES CONDUCTED WITHIN 24 HOURS OF OCCURRENCE. RECORDS OF EACH ACTIVITY SHALL INCLUDE THE FOLLOWING:

- DATE AND TIME OF INSPECTIONS;
- NAME OF PERSON(S) CONDUCTING INSPECTION;
- FINDINGS AND RECOMMENDATIONS FOR CORRECTIVE ACTIONS IF NECESSARY;
- CORRECTIVE ACTIONS TAKEN; -DATE AND AMOUNT OF RAINFALL EVENTS;
- POINTS OF DISCHARGE OBSERVED DURING INSPECTION AND DESCRIPTION OF THE DISCHARGE
- AMENDMENTS MADE TO THE SWPP.

THE CONTRACTOR SHALL SUBMIT A COPY OF THE WRITTEN INSPECTIONS TO THE ENGINEER AND OWNER ON A MONTHLY BASIS. IF MONTHLY INSPECTION REPORTS ARE NOT SUBMITTED, MONTHLY PAYMENTS MAY BE HELD.

THE CONTRACTOR SHALL KEEP THE SWPPP, ALL INSPECTION REPORTS, AND AMENDMENTS ONSITE. THE CONTRACTOR SHALL DESIGNATE A SPECIFIC ONSITE LOCATION TO KEEP THE RECORDS.

THE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY BMP'S, AS WELL AS EROSION AND SEDIMENT CONTROL BMP'S.

THE CONTRACTOR SHALL INSPECT EROSION PREVENTION AND SEDIMENTATION CONTROL BMP'S TO ENSURE INTEGRITY AND EFFECTIVENESS. ALL NONFUNCTIONAL BMP'S SHALL BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS OF FINDING. THE CONTRACTOR SHALL INVESTIGATE AND COMPLY WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS:

PERIMETER CONTROL DEVICES, INCLUDING SILT FENCE SHALL BE REPAIRED, OR REPLACED, WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE DEVICE HEIGHT. THESE REPAIRS SHALL BE MADE WITHIN 24 HOURS OF DISCOVERY.

TEMPORARY AND PERMANENT SEDIMENT BASINS SHALL BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.

SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. THE CONTRACTOR SHALL REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS. THE CONTRACTOR SHALL RE-STABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN 7 DAYS OF DISCOVERY, UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL CONSTRAINTS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND OBTAIN ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.

CONSTRUCTION SITE VEHICLE EXIT LOCATIONS SHALL BE INSPECTED DAILY FOR EVIDENCE OF SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL PAVED SURFACES WITHIN 24 HOURS OF DISCOVERY.

IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

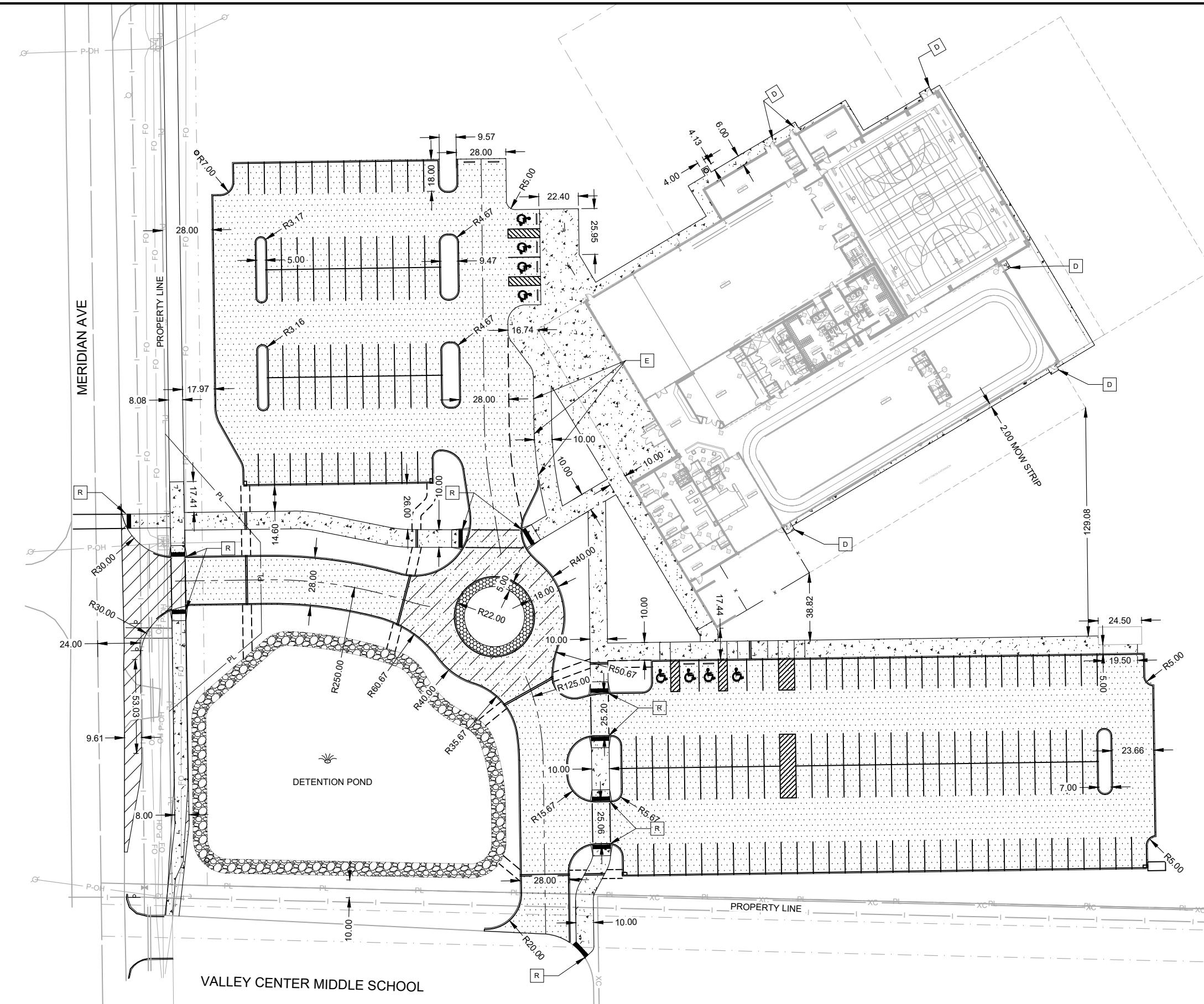
INFILTRATION AREAS SHALL BE INSPECTED FOR SIGNS OF SEDIMENTATION AND COMPACTION.

POLLUTION PREVENTION MANAGEMENT MEASURES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MANAGEMENT MEASURES.

ALL POLLUTION PREVENTION MEASURES ARE CONSIDERED INCIDENTAL TO THE MOBILIZATION BID ITEM, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL VISITORS AND/OR PERSONNEL ON-SITE OF THE POLLUTION PREVENTION MANAGEMENT MEASURES. POLLUTION PREVENTION MANAGEMENT MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:



[E] BOLLARD (PEDESTAL) LIGHTS - SEE ELECTRICAL FOR DETAILS

[R] ADA RAMP - PER CITY OF VALLEY CENTER STANDARD DETAIL

[D] DOOR SLAB - 5' OUT FROM DOOR AND DOOR WIDTH +2' WIDE

LEGEND

- 5' PCC SIDEWALK
- 6' PCC PAVEMENT - STAMPED
- 5' ASPHALT PAVEMENT WITH CONCRETE CURB AND GUTTER
- 7' PCC PAVEMENT
- 6' PCC PAVEMENT REINFORCED

PAVING PLAN

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Checked By	--	--			--		



AQUATIC CENTER
VALLEY CENTER, KANSAS

PAVING PLAN
VALLEY CENTER, KANSAS



C12

NOTE: ALL GRADES ARE TOP OF
SLAB UNLESS
NOTED AS 'TC' OR TOP OF CURB
FOR ALL SPOT ELEVATION
SHEETS.



This technical floor plan illustrates the layout of a building with various rooms, hallways, and accessible features. The plan includes room labels, door symbols, and coordinate markers. Key features include accessible (ADA) symbols in rooms 1352.78, 1352.91 TC, 1352.99 TC, 1353.17 TC, and 1353.41 TC. The plan also shows a central corridor with room 1353.02, a staircase, and various other rooms like 1352.25 TC and 1351.75 TC. Coordinate markers are placed along the perimeter and internal walls, such as 1353.10, 1353.14, 1353.38, 1353.37, 1353.02, 1352.72, 1352.24 TC, 1352.09, 1352.78, 1352.91 TC, 1352.99 TC, 1353.17 TC, 1353.41 TC, 1353.22 TC, 1352.88 TC, 1352.47 TC, 1352.24, 1352.70, 1352.79 TC, 1352.63, 1352.68, 1353.01, 1353.02, 1352.71, 1352.37, 1351.95, 1352.73, 1352.77, 1352.88, 1352.79, 1353.14, 1353.24, 1352.57, 1352.10, 1352.03, 1351.93, 1351.76, 1352.66, 1353.10, 1352.88, 1352.79, 1353.02, 1353.14, 1352.64, 1352.53, 1352.92, 1352.78, 1352.79, 1353.01, 1352.63, 1352.02, 1351.38, 1351.45, 1351.44, 1352.24 TC, 1352.37 TC, 1352.60 TC, 1352.81 TC, 1352.46 TC, 1351.86 TC, 1351.29 TC, and 1350.73 TC. A circular stamp in the bottom right corner reads 'COP R CENS V A'.

SPOT ELEVATIONS

SEH Project	VALCT/170526
Drawn By	--
Designed By	--
Checked By	--

Revision Issue Description

Date Rev.

Revision Issue Description

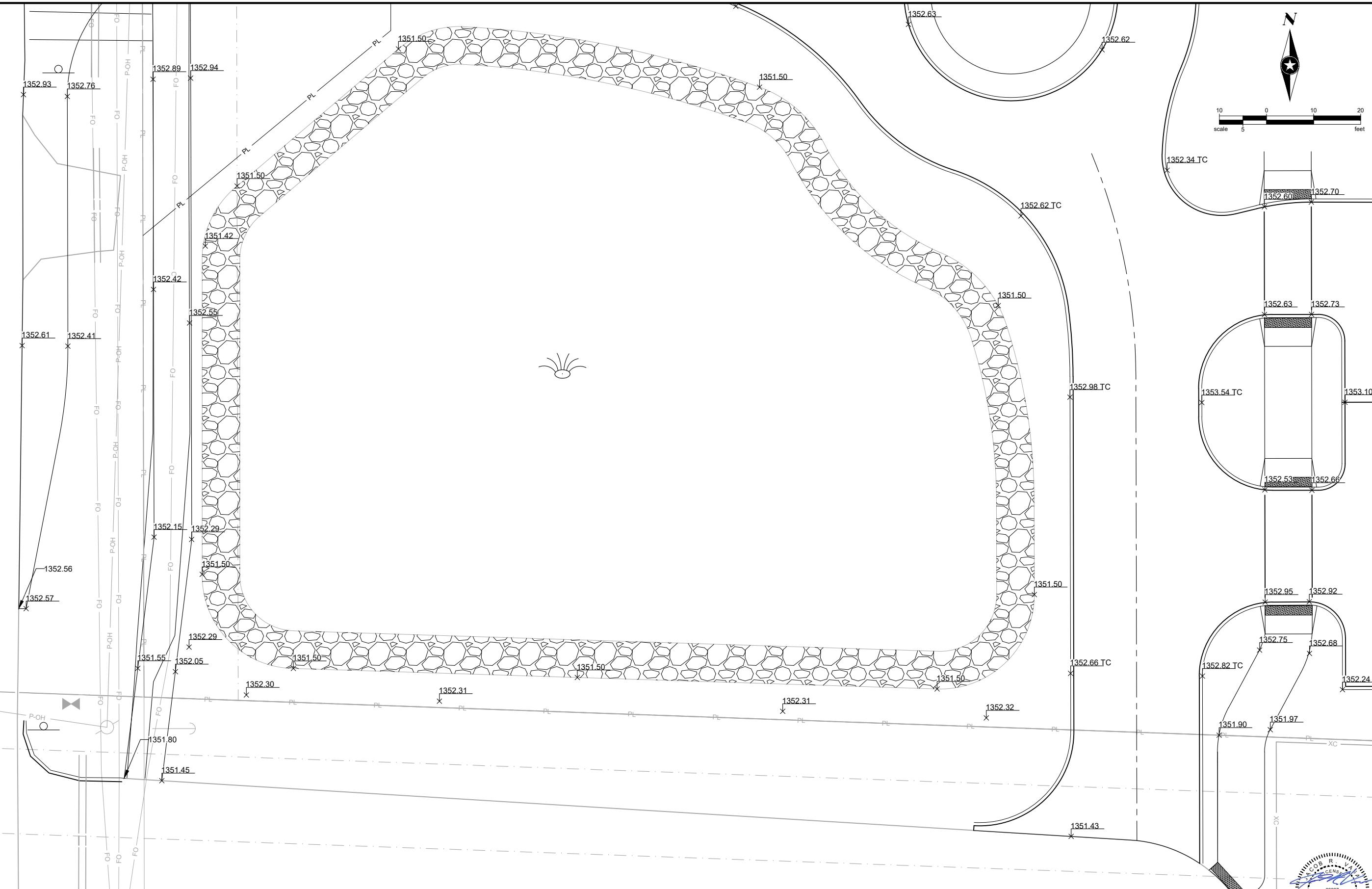
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AQUATIC CENTER VALLEY CENTER, KANSAS

**SPOT ELEVATIONS
VALLEY CENTER, KANSAS**

C13

MERIDIAN AVE



SPOT ELEVATIONS

SEH Project: VALCT/170526 | Rev.#: . | Revision Issue Description: . | Date: . | Rev.#: . | Revision Issue Description: . | Date: .



AQUATIC CENTER
VALLEY CENTER, KANSAS

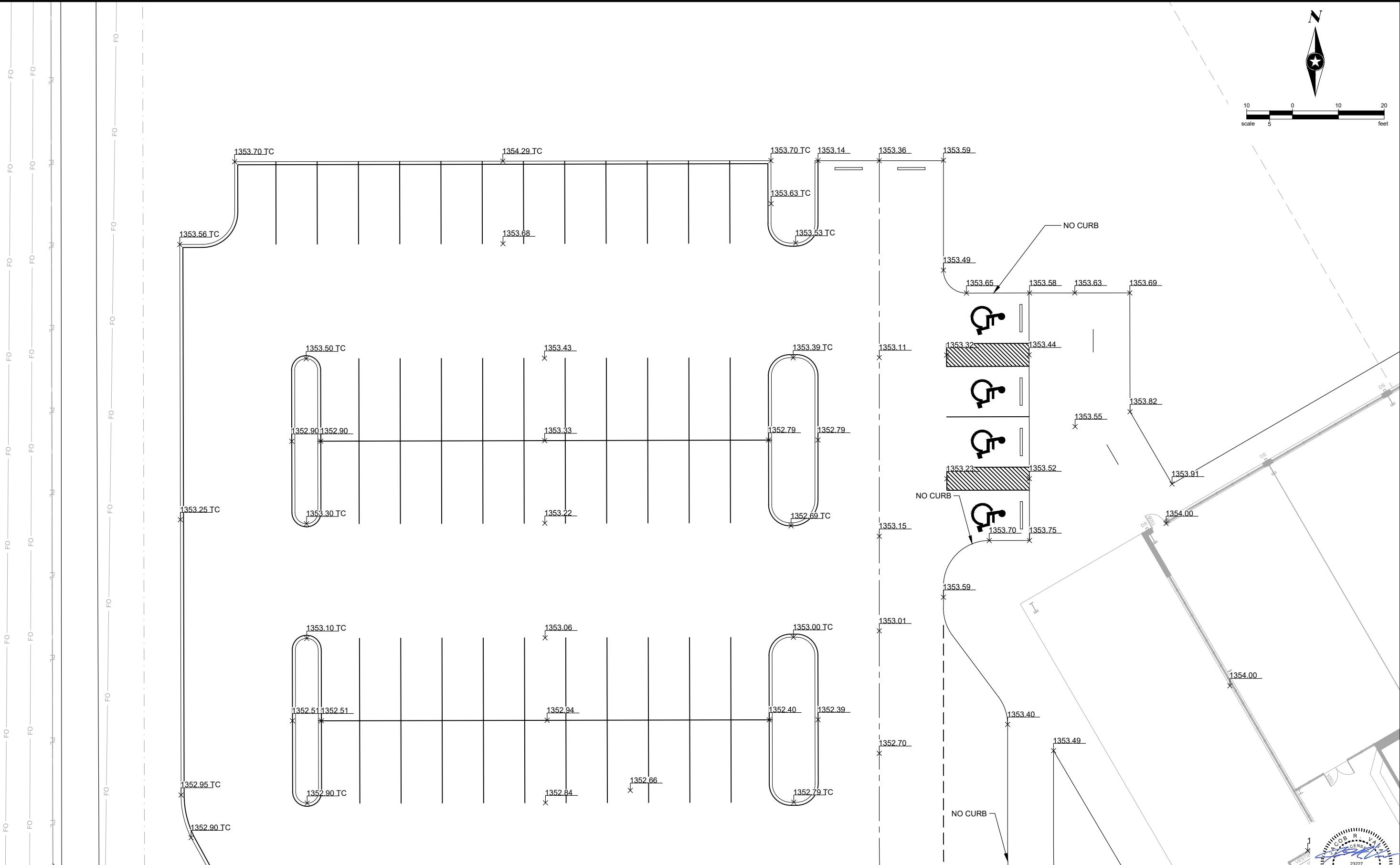
SPOT ELEVATIONS
VALLEY CENTER, KANSAS



C14

Save: 7/25/2023 1:49 PM dbms Plot: 7/25/2023 1:49 PM X-UVZVVVALCTV1705265-fin-dsgn151-drawings\10_Civil\cad\dwg\sheetVA_170526_SE.dwg

MERIDIAN AVE



SPOT ELEVATIONS

SEH Project	VALCT/170526	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description
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Designed By	--
Checked By	--

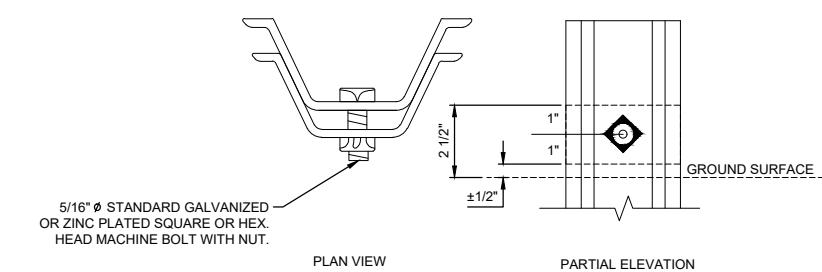
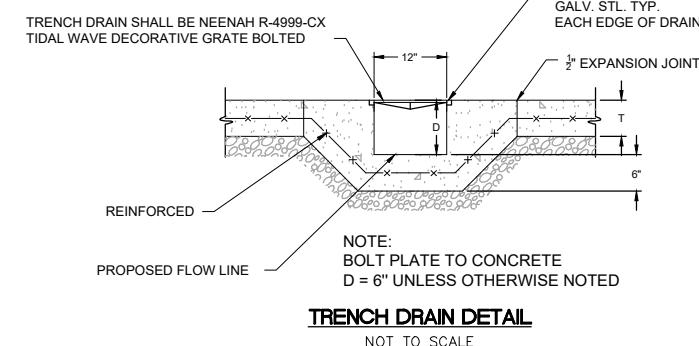
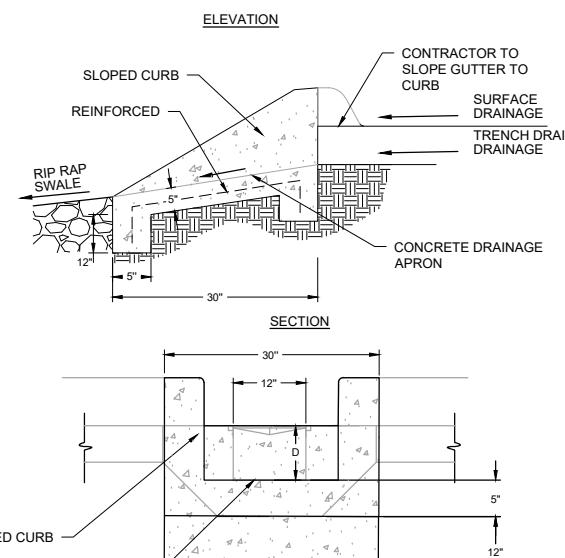
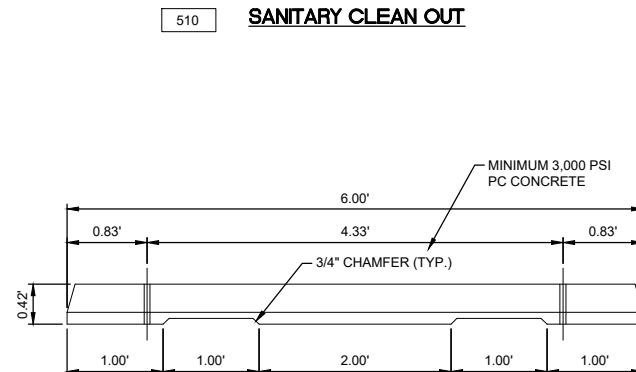
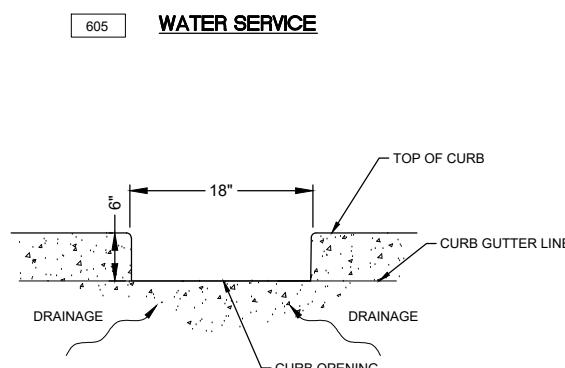
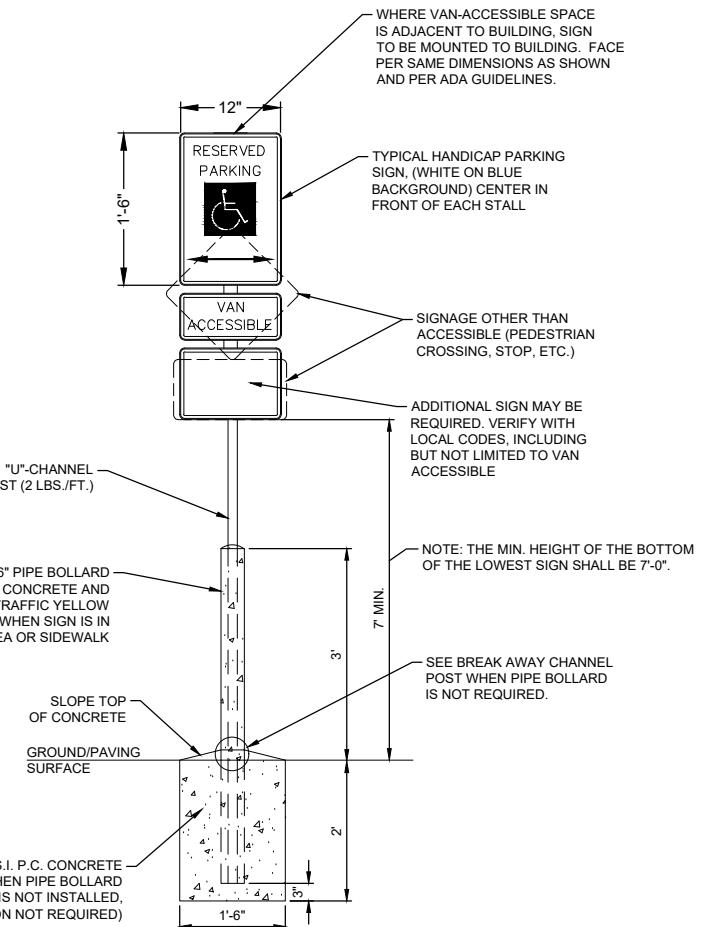
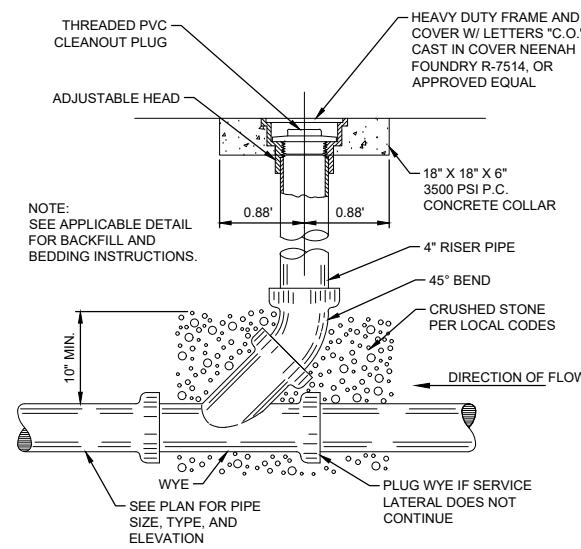
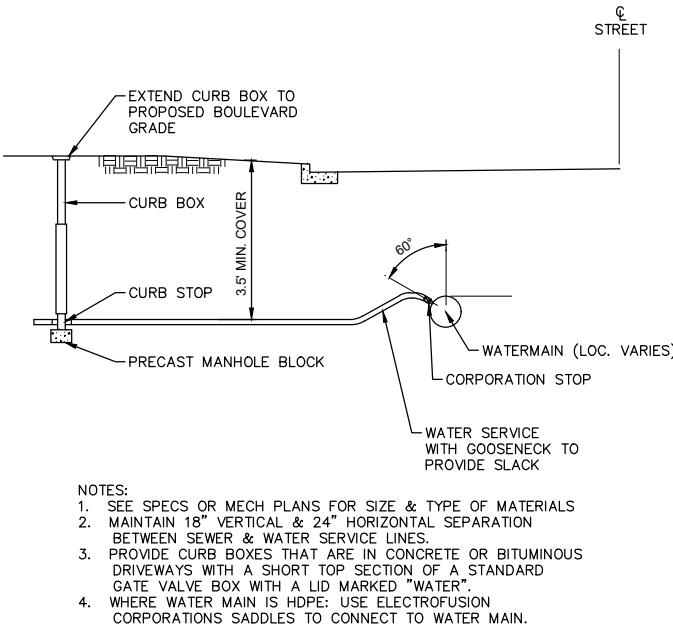


AQUATIC CENTER

VALLEY CENTER, KANSAS

**SPOT ELEVATIONS
VALLEY CENTER, KANSAS**

C16



MABCD REVIEW
STAMP LOCATION

DUDLEY WILLIAMS & ASSOCIATES P.A.
STRUCTURAL ENGINEERS INC.
MIDWEST ENGINEERING INC.
MECHANICAL ENGINEERS
INTEGRATED CONSULTING ENGINEERS
SHORTELLO THE BRICK CO., INC. (SEH)
CIVIL ENGINEERS
WATERS EDGE AQUATIC DESIGN
POOL ENGINEER

CITY OF VALLEY CENTER
VALLEY CENTER AQUATICS & FITNESS CENTER

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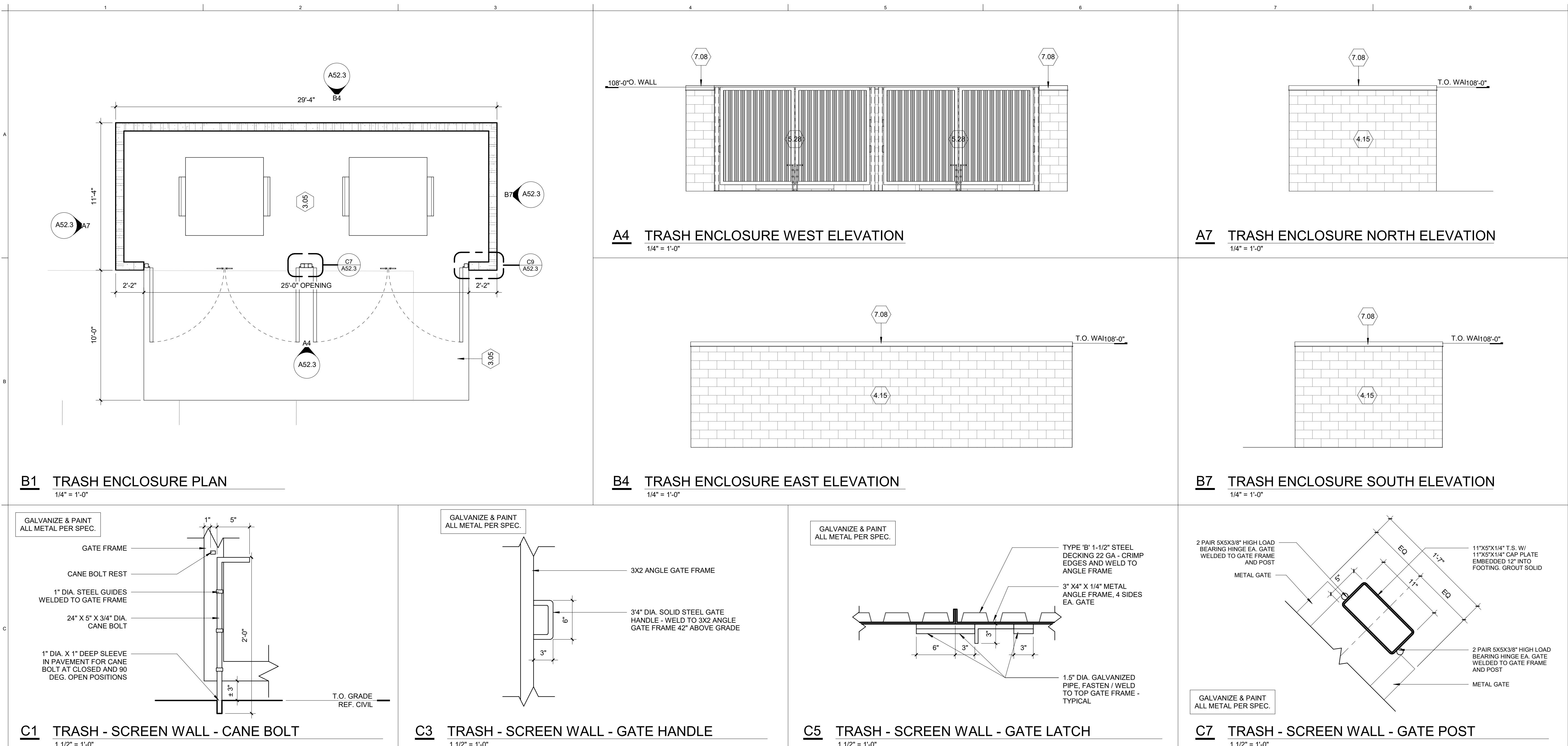
REVISIONS

PROJECT NUMBER
5489.20

DATE
06.08.2023

TRASH ENCLOSURE

A52.3



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REVISIONS

PROJECT NUMBER
5489.20

DATE
06.08.2023

TRASH ENCLOSURE

A52.3



Date: August 17, 2023

Present Zoning: C-2 (General Business District)

Proposed Zoning: R-1B (Single-Family Residential District)

Rezoning Application Case Number: RZ-2023-04

Applicant: Jason Febres

Property Address: 116 S. Ash Avenue, Valley Center, KS 67147 (outlined in red below)



Applicants' Reasons for Rezoning: The applicant is requesting a rezoning from C-2 to R-1B to allow for a new single-family house to be constructed on this property (see applicant's request letter at the end of this staff report). Currently, this property is vacant and has been for over twenty years. Upon approval of this rezoning application, the applicant plans to submit a building permit application and construct a small single-family house on this property.

Review Criteria for a Zoning Amendment per 17.11.01.H (criteria in *italics*)

- 1. What is the character of the subject property and the surrounding neighborhood in relation to existing uses and their condition?*

The subject property is vacant. This property is located in a mixed-use neighborhood, with commercial properties and uses to the north, east, and west and single-family residential uses to the south. At one time, there was a single-family house on this property, but it was demolished many years ago.

- 2. What is the current zoning of the subject property and that of the surrounding neighborhood in relationship to the requested change?*

The current zoning of the subject property is R-1B (Single-Family Residential District). The surrounding zoning and land uses are as follows:

- North: C-1 (Central Business District)
- South: C-2 (General Business District)
- East: C-2 (General Business District)
- West: C-2 (General Business District)

- 3. Is the length of time that the subject property has remained undeveloped or vacant as zoned a factor in the consideration?*

No

- 4. Would the request correct an error in the application of these regulations?*

No

- 5. Is the request caused by changed or changing conditions in the area of the subject property and, if so, what is the nature and significance of such changed or changing conditions?*

The rezoning request is the direct result of the applicant wanting to build a single-family house on this lot, which is not allowed under its current commercial zoning.

- 6. Do adequate sewage disposal and water supply and all other necessary public facilities including street access exist or can they be provided to serve the uses that would be permitted on the subject property?*

Yes, public water and sanitary sewer are available to this property.

- 7. Would the subject property need to be platted or replatted or in lieu of dedications made for rights-of-way, easements, and access control or building setback lines?*

No

- 8. Would a screening plan be necessary for existing and/or potential uses of the subject property?*

No

- 9. Is there suitable vacant land or buildings available or not available for development that currently has the same zoning?*

There is other land in the community on which single-family houses could be built, but the applicant already owns this land and would like the opportunity to built on this lot.

10. *If the request is for business or industrial uses, are such uses needed to provide more services or employment opportunities?*

Not applicable

11. *Is the subject property suitable for the uses in the current zoning to which it has been restricted?*

The subject property could be used for commercial purposes. Right now, the property is vacant, so there are no existing buildings that could be used for commercial purposes.

12. *To what extent would the removal of the restrictions, i.e., the approval of the zoning request detrimentally affect other property in the neighborhood?*

The rezoning request should not have a negative impact on the surrounding properties. There are existing single-family houses to the south of this property, a commercial property to the east, the grain elevator to the west, and a vacant lot to the north that is used for the seasonal Main Street Valley Center Farmers Market, Fall Festival, and other community events. The addition of a small single-family homes will not have a detrimental impact on the surrounding neighborhood.

13. *Would the request be consistent with the purpose of the zoning district classification and the intent and purpose of these regulations?*

Yes

14. *Is the request in conformance with the Comprehensive Plan and does it further enhance the implementation of the Plan?*

Yes

15. *What is the nature of the support or opposition of the request?*

- City staff supports this rezoning. The standard public notice was published in *The Ark Valley News* and notices were sent out to surrounding property owners. Two responses have been received to date and both were not opposed to this rezoning request.
- Other public comments in support or opposition will not be known until the public hearing.

16. *Is there any information or are there recommendations on this request available from professional persons or persons with related expertise which would be helpful in its evaluation?*

No

17. *By comparison, does the relative gain to the public health, safety and general welfare outweigh the loss in value or the hardship imposed upon the applicant by not approving the request?*

No

City staff recommends approval of this rezoning application.

Applicant's Request Letter

Ryan Shrack

From: Chef Jason Febres <jasonfebres@gmail.com>
Sent: Monday, July 3, 2023 4:22 PM
To: Ryan Shrack
Subject: Request to rezone 116 s Ash

Hey Ryan,

Here is the letter requested for rezoning purposes.

In a nutshell I am petitioning to rezone the 116 s ash lot that I just purchased, from commercial to residential, so I can build my mom a house to live and also for her to help maintain and tend to our new building right next to it.

My name is Jason Febres I was born in the states, but I was raised in Venezuela. I became a chef and told my mom I wanted to return to United States to launch my career, and she literally gave me her lifetime savings so I could come here and create a life of my own.

After I left, the Venezuela economic and social situation took a dive, hyperinflation and crime skyrocketed. I automatically petitioned my mom and dad and they were able to come here to the states. Mom has US citizenship but had to leave behind everything, her apartment and a house and got here with nothing.

So as I reflect, because of my mom's sacrifice I have everything I need and more including a very successful business and a home. So please understand my need and duty to love and repay her back with at least a home for her to live.

I love my mom and this is a dream of hers to have her own house. Wouldn't you do the same for your mom?

Sincerely,
Jason Febres

Chef Jason Febres
RENT THE CHEF 
CATERING • EVENTS • COOKING CLASSES
C. (316) 308.5556
<https://m.facebook.com/RentTheChefCT/>



PLANNING AND ZONING BOARD MEETING MINUTES
CITY OF VALLEY CENTER, KANSAS

Tuesday, July 25, 2023, 7:00 P.M.

CALL TO ORDER: Chairperson Janzen called the meeting to order at 7:10 P.M. with the following members present: Paul Spranger, Brian Shelton, Scot Phillips, and Dalton Wilson.

Members Absent: Rick Shellenbarger and Steve Conway

City Staff Present: Ryan Shrack, Brittney Ortega, and Heather VonFeldt

Audience: Bill Arick and Kurt Huiras

AGENDA: A motion was made by Chairperson Janzen and seconded by Board Member Phillips to set the agenda. Motion passed unanimously.

APPROVAL OF DRAFT MINUTES: Chairperson Janzen made a motion to approve the June 27, 2023, meeting minutes. The motion was seconded by Vice Chairperson Spranger. Motion passed unanimously.

COMMUNICATIONS: None

PUBLIC HEARINGS BEFORE THE PLANNING AND ZONING BOARD:

1. Review of LS-2023-03, application of Village VC LLC, pursuant to City Code 16.09.01, who is petitioning for a lot split involving the splitting of property the petitioner owns, which is currently addressed as 335 S. Meridian Ave., Valley Center, KS 67147.

R. Shrack gave a summary of his staff report. The applicant has worked with Baughman Company to create this lot split. Currently this lot consists of one commercially zoned property. All existing buildings will remain on the same lot. Separate utility easements will be created to serve the existing utility infrastructure that will now cross property lines between the two proposed parcels. A public notice was published in *The Ark Valley News* as well as sent to the surrounding property owners. There have been no responses received regarding the proposed split. City staff is recommending approval of this lot split. R. Shrack explained the process of a lot split for newer board members. Board Member Wilson inquired if this will impact the new building in this location that was approved by the board previously. R. Shrack explained that the site plan that was approved for the new commercial building that will be located on the parcel to the north will in no way be affected.

Chairperson Janzen opened the hearing for comments from the public: 7:14 PM

Chairperson Janzen closed the hearing for comments from the public: 7:15 PM

No comments received from the public. Based on the City Staff recommendations, public comments, and discussion by the Planning and Zoning Board, Chairperson Janzen made a motion to approve LS-2023-03. Motion was seconded by Board Member Wilson. The vote was unanimous.

OLD OR UNFINISHED BUSINESS: None

NEW BUSINESS: None

STAFF REPORTS: R. Shrack reminded the board that the next meeting will be held on August 22, 2023. There will be three items to review, one being the site plan for the new aquatic and recreation center. Once that is approved, we will work on getting the building plans approved by Sedgwick County. Shrack informed the board that you may start to see some dirt work being done prior to the building permit being issued, this is completely acceptable. The contractor has permission to do site preparation and clean up work. R. Shrack also spoke about the last item to be reviewed which is in conjunction with Sedgwick County. This deals with our Urban Growth Area and development applications that would be submitted to Sedgwick County. Valley Center Planning and Zoning Board will have the opportunity to hear a conditional use application at the August board meeting, have a public hearing, and render a recommendation to approve or deny the application.

ITEMS BY PLANNING AND ZONING BOARD MEMBERS:

Gary Janzen-none

Paul Spranger-none

Brian Shelton- none

Rick Shellenbarger- absent

Scot Phillips-none

Steve Conway-absent

Dalton Wilson - none

ADJOURNMENT OF THE PLANNING AND ZONING BOARD MEETING: At 7:25 P.M., a motion was made by Chairperson Janzen to adjourn and seconded by Board Member Shelton. Vote was unanimous and the meeting was adjourned.

Respectfully submitted,

/s/ Ryan Shrack, Secretary

Gary Janzen, Chairperson